



# Mt. Pleasant High School

1750 S. White Road  
San Jose, CA 95127

## Roof Bidding Documents

G000

September 20, 2018

**Project Team:**

**Owner:**

East Side Union High School District  
Facilities & Planning Division  
830 North Capitol Avenue  
San Jose, CA 95133  
United States  
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**Architect:**

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architect:  
Gould Evans Associates  
95 Brady Street  
San Francisco CA 94103  
United States  
415.503.1411  
www.gould-evans.com

**SITE LEGEND**

- FIRE TRUCK ROUTE
- - - ACCESSIBLE PATH OF TRAVEL
- ..... APPROVED DSA ACCESSIBLE ENTRANCES
- M** EXISTING MEN'S STUDENT RESTROOMS TO REMAIN
- W** EXISTING WOMEN'S STUDENT RESTROOMS TO REMAIN
- U** EXISTING UNISEX STUDENT RESTROOMS TO REMAIN
- M** EXISTING MEN'S STAFF RESTROOMS TO REMAIN
- W** EXISTING WOMEN'S STAFF RESTROOMS TO REMAIN
- U** NEW UNISEX STUDENT RESTROOMS
- E** EXISTING HIGH-LOW WATER FOUNTAINS
- N** NEW HIGH-LOW WATER FOUNTAINS

**ORIGINAL CAMPUS - BUILDING CODE ANALYSIS**

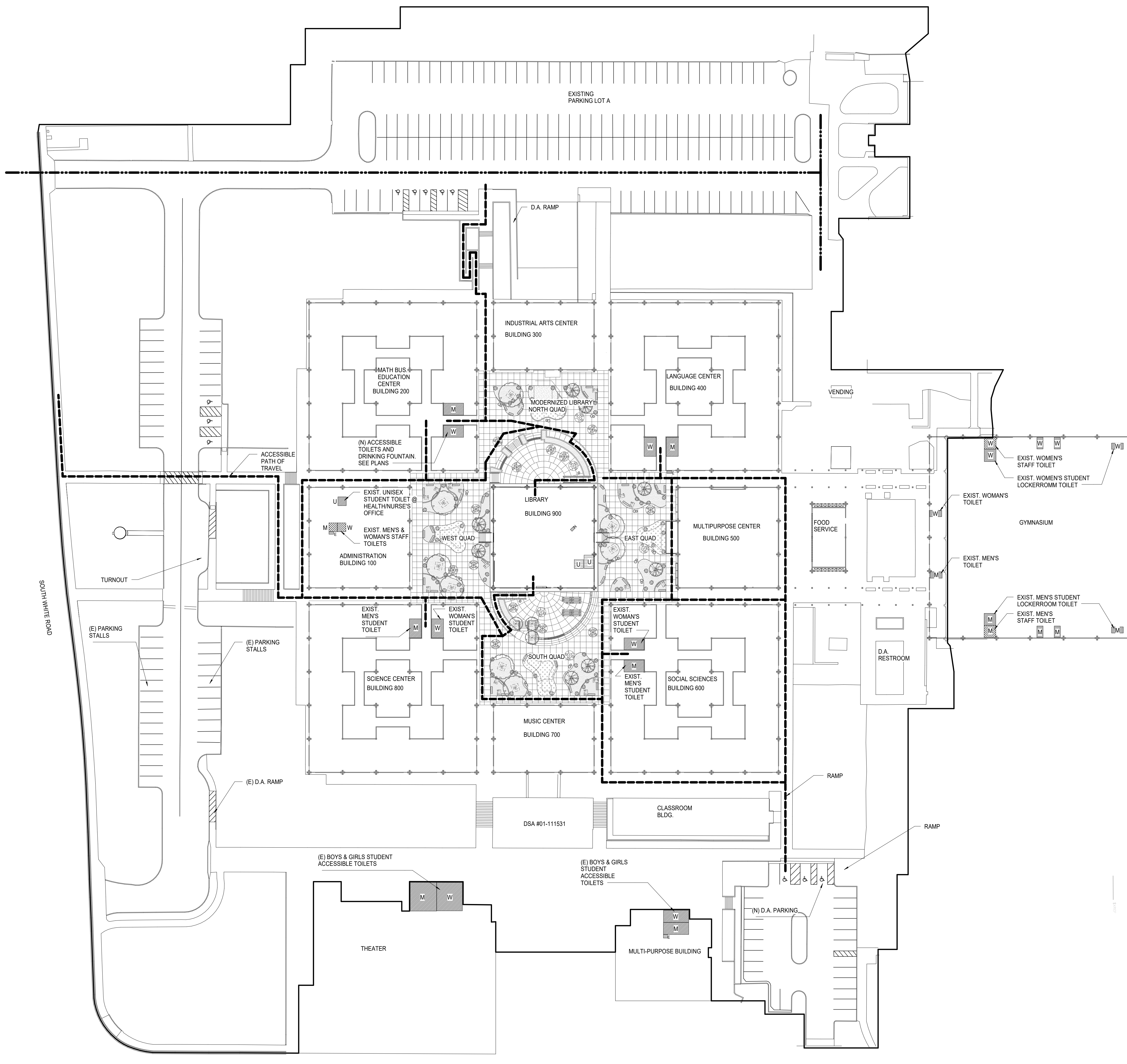
BUILDING OCCUPANCY GROUP: E1, B  
 BUILDING AREA (SF): 13984 SQ.FT  
 TYPE OF CONSTRUCTION: I FIRE RESISTIVE  
 ALLOWABLE FLOOR AREA (SF): UNLIMITED

NOTE:  
 THE TYPE OF CONSTRUCTION OF THE EXISTING BUILDINGS (CLASSROOM BUILDINGS 100 - 800, RESOURCE LIBRARY, FOOD SERVICE, RESTROOM AND GYMNASIUM) IS TYPE I-FIRE RESISTIVE. BUILDING 800 IMPROVEMENTS WILL NOT CHANGE THESE REQUIREMENTS.

ALL BUILDINGS ARE ONE STORY IN HEIGHT EXCEPT BUILDING 300 WHICH HAS A BASEMENT.

THERE IS NO EXISTING OR PROPOSED AUTOMATIC SPRINKLER. NONE IS REQUIRED PER CBC.

BUILDING 100:	7056 SQ.FT
BUILDING 300:	4704 SQ.FT
BUILDING 400:	19600 SQ.FT
BUILDING 500:	7056 SQ.FT
BUILDING 600:	19600 SQ.FT
BUILDING 700:	4704 SQ.FT
BUILDING 800:	19600 SQ.FT
LIBRARY - BLDG 900:	7056 SQ.FT
FOOD:	1568 SQ.FT
RESTROOM:	1056 SQ.FT
GYMNASIUM:	29244 SQ.FT
<b>TOTAL:</b>	<b>139844 SQ.FT</b>



**ACCESSIBILITY STATEMENT BY DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE**

PATH-OF-TRAVEL (POT) INDICATED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS.

AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NON-COMPLIANT (1) HAVE BEEN IDENTIFIED, AND (2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DRAWINGS, DETAILS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS.

ANY NON-COMPLIANT ELEMENT, COMPONENT OR PORTION OF THE POT THAT WILL NOT BE PROTECTED BY THIS PROJECT, BASED ON VALUATION THRESHOLD LIMITATION OR A FINDING OF UNREASONABLE HARDSHIPS, IS SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.

DURING CONSTRUCTION, IF ANY POT ITEM WITHIN THE SCOPE OF THE PROJECT PRESENTED AS CODE COMPLIANT IS FOUND TO BE NON-COMPLIANT BEYOND REASONABLE CONSTRUCTION TOLERANCES, IT SHALL BE BROUGHT INTO COMPLIANCE WITH CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.



Number	Revision Description	Date

Project No: 1115-0130  
 Date: September 20, 2018  
 Sheet:

Site Plan Access

**G020**

BIDDING DOCUMENTS

**SITE PLAN**      **1**

1" = 40'-0"

General Notes:

1. PROVIDE ALL ROOFING DETAILS BY MANUFACTURERS WARRANTED SYSTEMS.
2. PROVIDE WALKWAY PADS AT ALL ROOF LADDERS AND AT ALL ROOFTOP EQUIPMENT WORKING AREAS.
3. PROVIDE CRICKETS ON THE HIGH SIDE OF ALL ROOFTOP EQUIPMENT TO FACILITATE DRAINAGE AND UPTURNED COLUMN CAPITALS.
4. ALL FLAT ROOFS TO SLOPE 1/4" PER FOOT MINIMUM.
5. ALL CRICKETS TO SLOPE 1/4" PER FOOT MINIMUM.
6. MINIMUM 6" RIGID INSULATION TO DRAIN.
7. ROOF PERFORMANCE MUST MEET CURRENT CODES.
8. SEE MEP FOR ROOF TOP EQUIPMENT.
9. FIELD VERIFY EXISTING ROOF CONDITIONS.
10. INSTALL SINGLE PLY MEMBRANE AS SPECIFIED IN SECTION 074500 THERMOPLASTIC MEMBRANE ROOFING.
11. LIGHTWEIGHT CONCRETE SHALL BE LEFT IN PLACE AND NOT DEMOLISHED. REPAIR AND REPLACE AREAS OF LIGHTWEIGHT CONCRETE FOUND TO BE WET AS SPECIFIED.
12. LIGHTWEIGHT CONCRETE TO REMAIN IN PLACE UNLESS OTHERWISE NOTED.

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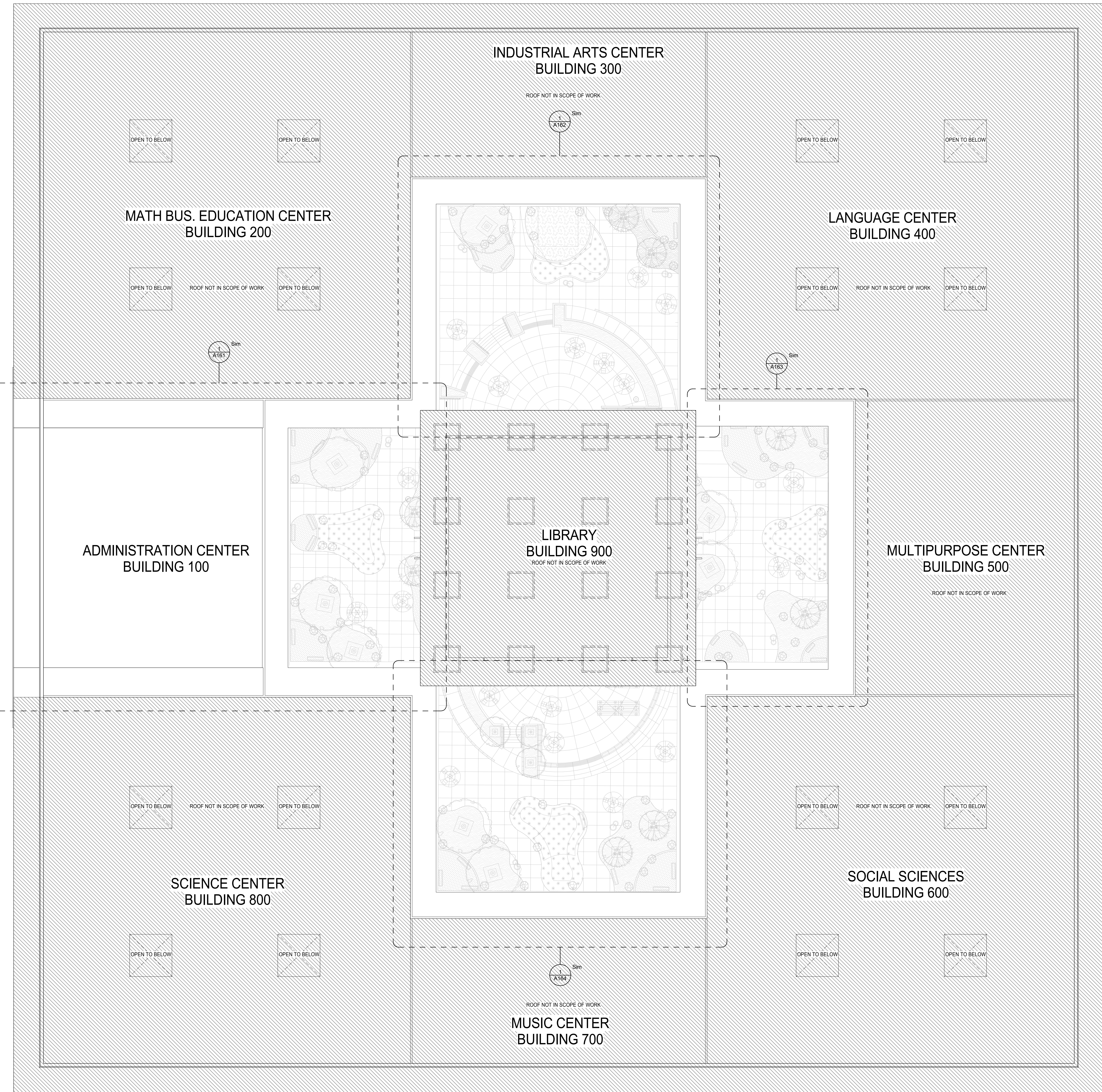
Number	Revision Description	Date
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Project No 1115-0130  
Date: September 20, 2016  
Sheet:

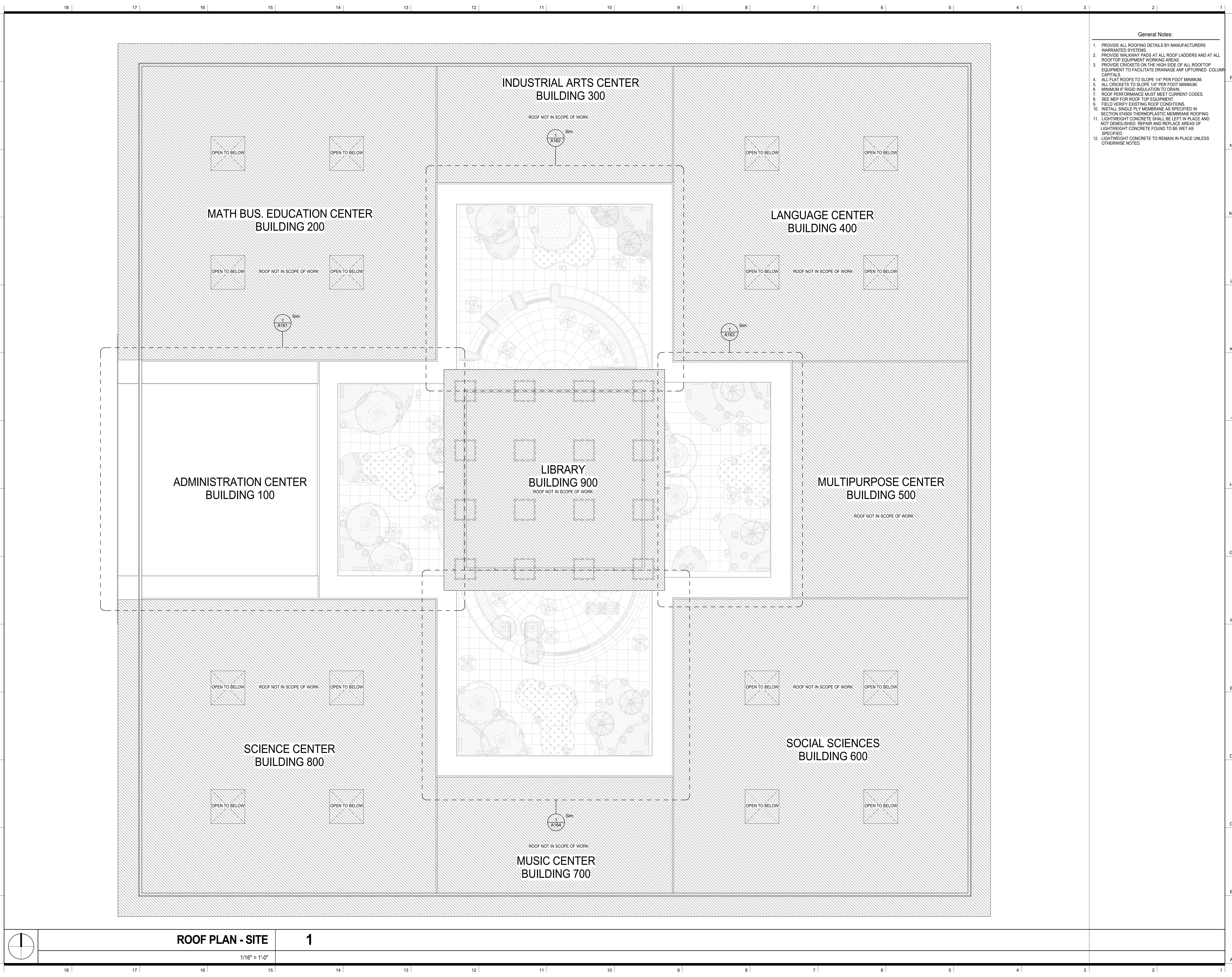
Site Roof Plan

A160

BIDDING DOCUMENTS



ROOF PLAN - SITE 1  
1/16" = 1'-0"



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**General Notes:**

1. PROVIDE ALL ROOFING DETAILS BY MANUFACTURERS WARRANTED SYSTEMS.
2. PROVIDE WALKWAY PADS AT ALL ROOFTOP EQUIPMENT WORKING AREAS.
3. PROVIDE CRICKETS ON THE HIGH SIDE OF ALL ROOFTOP EQUIPMENT TO FACILITATE DRAINAGE AND UPTURNED COLUMN CAPTALS.
4. ALL FLAT ROOFS TO SLOPE 1/4" PER FOOT MINIMUM.
5. ALL CRICKETS TO SLOPE 1/4" PER FOOT MINIMUM.
6. ROOF PERFORMANCE MUST MEET CURRENT CODES.
7. FIELD VERIFY EXISTING ROOF CONDITIONS.
8. INSTALL SINGLE PLY MEMBRANE AS SPECIFIED IN SECTION 07600 THERMOPLASTIC MEMBRANE ROOFING BUR SYSTEM AND LIGHTWEIGHT CONCRETE SHALL BE LEFT IN PLACE AND NOT DEMOLISHED UNLESS OTHERWISE NOTED. REPAIR AND REPLACE AREAS OF BUR AND LIGHTWEIGHT CONCRETE FOUND TO BE WET AS SPECIFIED.
11. NEW ROOF TO ENCAPSULATE EXISTING ROOF. ALL SLOPES RIDGES, CRICKETS AND DRAIN LOCATIONS WILL MATCH EXISTING ROOF.
12. XRAY CONCRETE SLAB TO LOCATE REBAR PRIOR TO CORING FOR PENETRATIONS OR ANCHORING. DO NOT DAMAGE EXISTING REBAR.
13. ALL WOOD TO BE PRESSURE TREATED.
14. RAISE EQUIPMENT AT NECESSARY TO ACCOMMODATE NEW ROOFING AND DETAILING.
15. SCAN PARAPET TO LOCATE REBAR PRIOR TO CORING FOR PENETRATIONS OR ANCHORING. DO NOT DAMAGE EXISTING REBAR.

**Keynote Legend**

Key Value	Keynote Text
20	SINGLE PLY "COOL ROOF"
52	EXISTING TO REMAIN AC UNIT
53	EXISTING ROOF OPENING TO REMAIN, REPLACE DRAIN (S/A330)
55	ANTENNA
56	ELECTRICAL PIPE PENETRATION
57	PHOTOCELL
59	EXHAUST
60	GRAVITY VENT
61	VENT STACK
62	1/4" GAS LINE
63	EXPANSION JOINT
64	REMOVE DUCT AND WALL, RAISE DUCT AS NECESSARY.
65	EXISTING DRAIN, ABANDON PATCH AND REPAIR (S/A332)
66	NEW DRAIN (S/A330)
67	EXISTING DRAIN TO REMAIN IN CURRENT LOCATION. REMOVE AND REPLACE DRAIN (INSERT WITH NEW (S/A330))
68	EXISTING GUTTER TO REMAIN

**NOTES:**

1. VERIFY ALL MEASUREMENTS IN FIELD.
2. NOT ALL EQUIPMENT IS SHOWN. CONTRACTOR TO VERIFY.
3. IF REQUIRED BY THE NEW SYSTEM MANUFACTURER, REMOVE ALL EXISTING EDGE METAL AND BASE FLASHINGS.
4. PARAPET WALL TO RECEIVE NEW LINER SHIM AND CAP FLASHING. REFER TO DETAIL DRAWINGS.
5. ADMINISTRATION ROOF AND CANOPES HAVE EXISTING SLOPED SURFACES. PROVIDE CRICKETS AT EQUIPMENT AS NEEDED.
6. RAISE EQUIPMENT AS NEEDED TO ACCOMMODATE NEW ROOF THICKNESS.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.



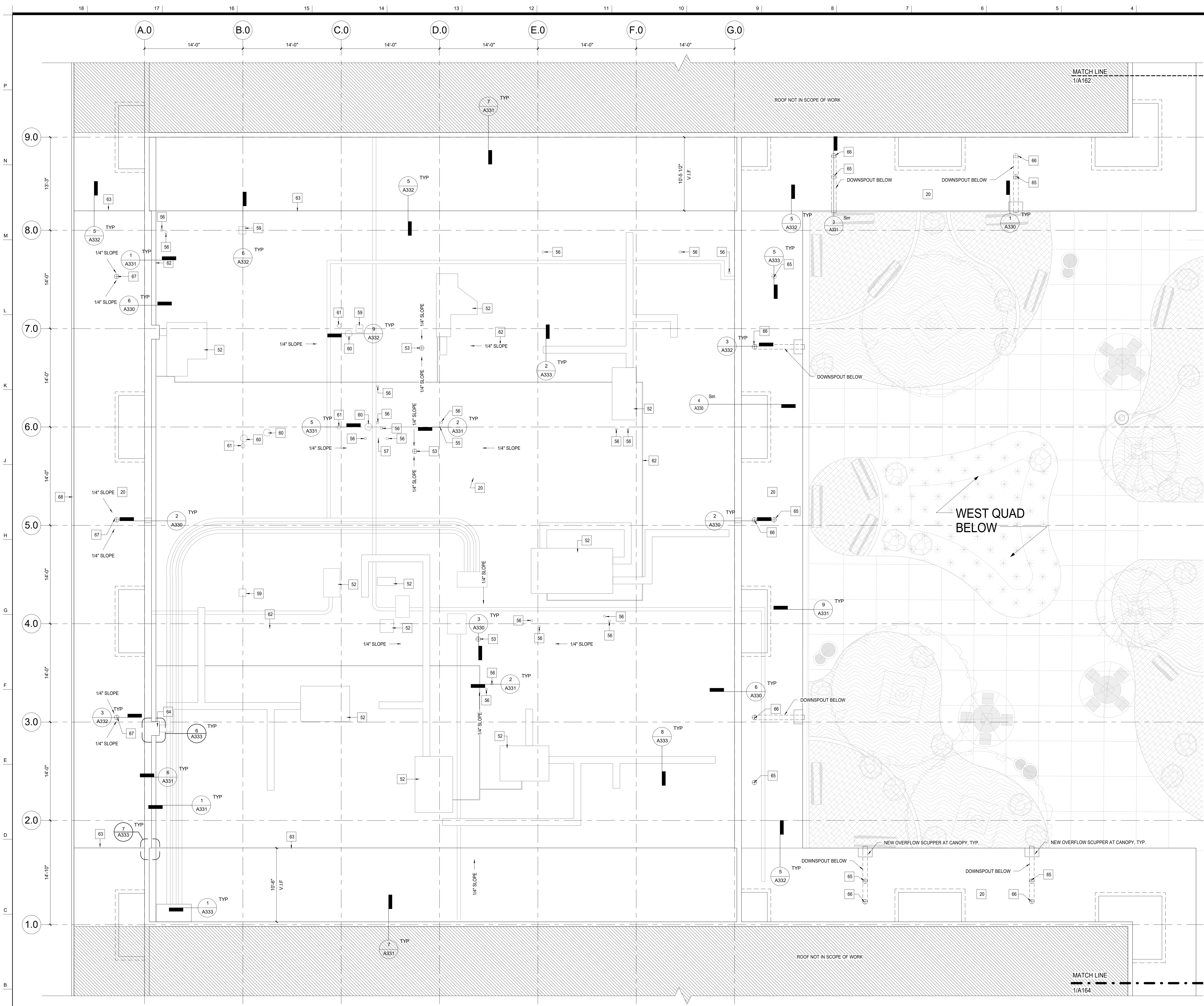
Number	Revision Description	Date

Project No 1115-0130  
Date: September 20, 2018  
Sheet:

Roof Plan - Administration

**A161**

BIDDING DOCUMENTS



**ROOF PLAN - ADMINISTRATION AND CANOPY**

**1**  
3/16" = 1'-0"  
1 / A160

- General Notes:**
1. PROVIDE ALL ROOFING DETAILS BY MANUFACTURERS WARRANTED SYSTEMS.
  2. PROVIDE WALKWAY PADS AT ALL ROOFTOP EQUIPMENT WORKING AREAS.
  3. PROVIDE CRICKETS ON THE HIGH SIDE OF ALL ROOFTOP EQUIPMENT TO FACILITATE DRAINAGE AND TURNED COLUMN CAPITALS.
  4. ALL FLAT ROOFS TO SLOPE 1/4" PER FOOT MINIMUM.
  5. ALL CRICKETS TO SLOPE 1/4" PER FOOT MINIMUM.
  6. ROOF PERFORMANCE MUST MEET CURRENT CODES.
  7. FIELD VERIFY EXISTING ROOF CONDITIONS.
  8. INSTALL SINGLE PLY MEMBRANE AS SPECIFIED IN SECTION 074500 THERMOPLASTIC MEMBRANE ROOFING.
  9. BUR SYSTEM AND LIGHTWEIGHT CONCRETE SHALL BE LEFT IN PLACE AND NOT DEMOLISHED UNLESS OTHERWISE NOTED. REPAIR AND REPLACE AREAS OF BUR AND LIGHTWEIGHT CONCRETE FOUND TO BE WET AS SPECIFIED.
  10. NEW ROOF TO ENCAPSULATE EXISTING ROOF. ALL SLOPES RIDGES, CRICKETS AND DRAIN LOCATIONS WILL MATCH EXISTING ROOF.
  11. XRAY CONCRETE SLAB TO LOCATE REBAR PRIOR TO CORING FOR PENETRATIONS OR ANCHORING. DO NOT DAMAGE EXISTING REBAR.
  12. ALL WOOD TO BE PRESSURE TREATED.
  13. RAISE EQUIPMENT AT NECESSARY TO ACCOMMODATE NEW ROOFING AND DETAILING.
  14. SCAN PARAPET TO LOCATE REBAR PRIOR TO CORING FOR PENETRATIONS OR ANCHORING. DO NOT DAMAGE EXISTING REBAR.

**Keynote Legend**

Key Value	Keynote Text
20	SINGLE PLY "COOL ROOF"
65	EXISTING DRAIN; ABANDON PATCH AND REPAIR (S/A333)
66	NEW DRAIN (S/A330)

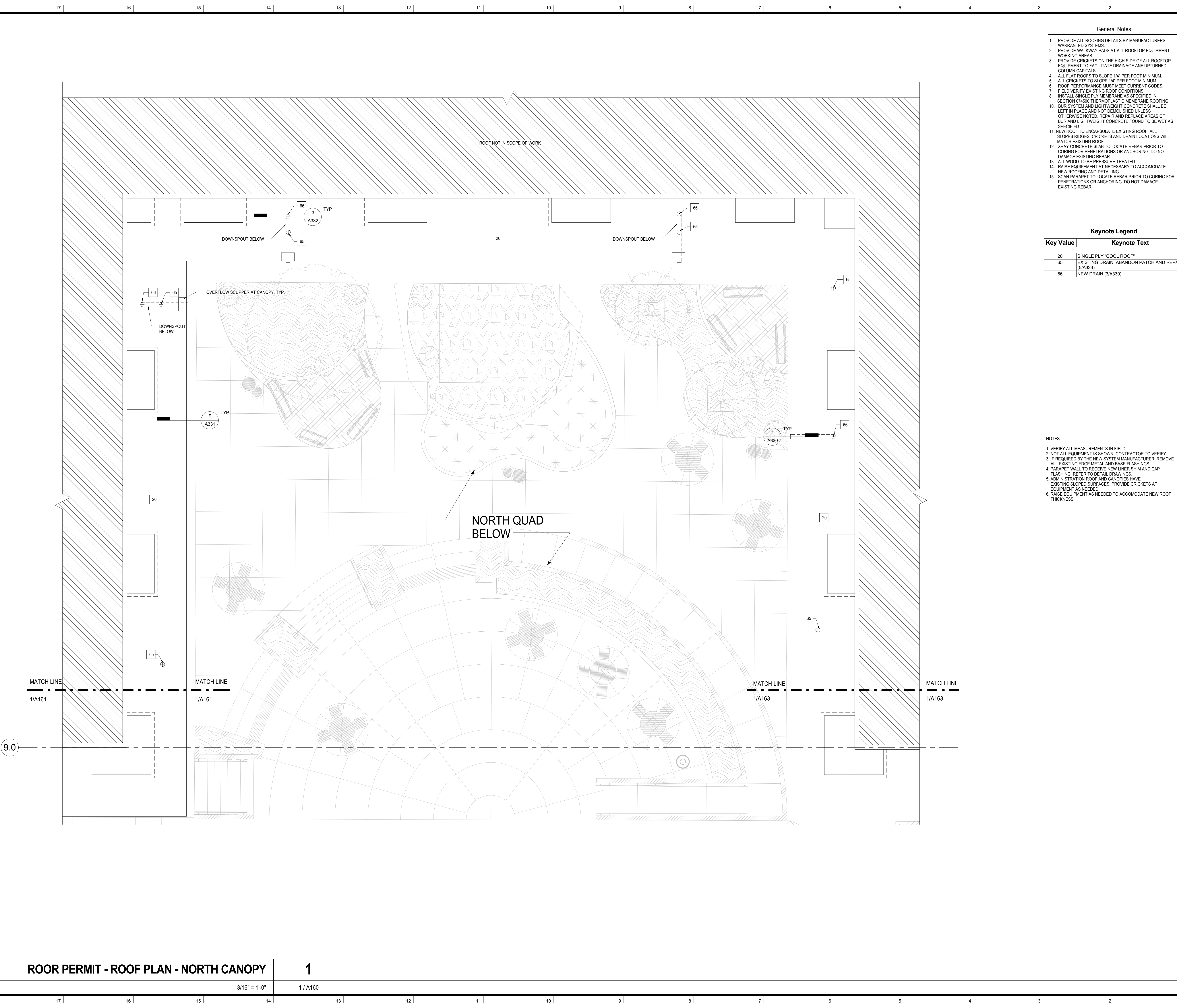
- NOTES:**
1. VERIFY ALL MEASUREMENTS IN FIELD.
  2. NOT ALL EQUIPMENT IS SHOWN. CONTRACTOR TO VERIFY.
  3. IF REQUIRED BY THE NEW SYSTEM MANUFACTURER, REMOVE ALL EXISTING EDGE METAL AND BASE FLASHINGS.
  4. PARAPET WALL TO RECEIVE NEW LINER SHIM AND CAP FLASHING. REFER TO DETAIL DRAWINGS.
  5. ADMINISTRATION ROOF AND CANOPIES HAVE EXISTING SLOPED SURFACES. PROVIDE CRICKETS AT EQUIPMENT AS NEEDED.
  6. RAISE EQUIPMENT AS NEEDED TO ACCOMMODATE NEW ROOF THICKNESS.

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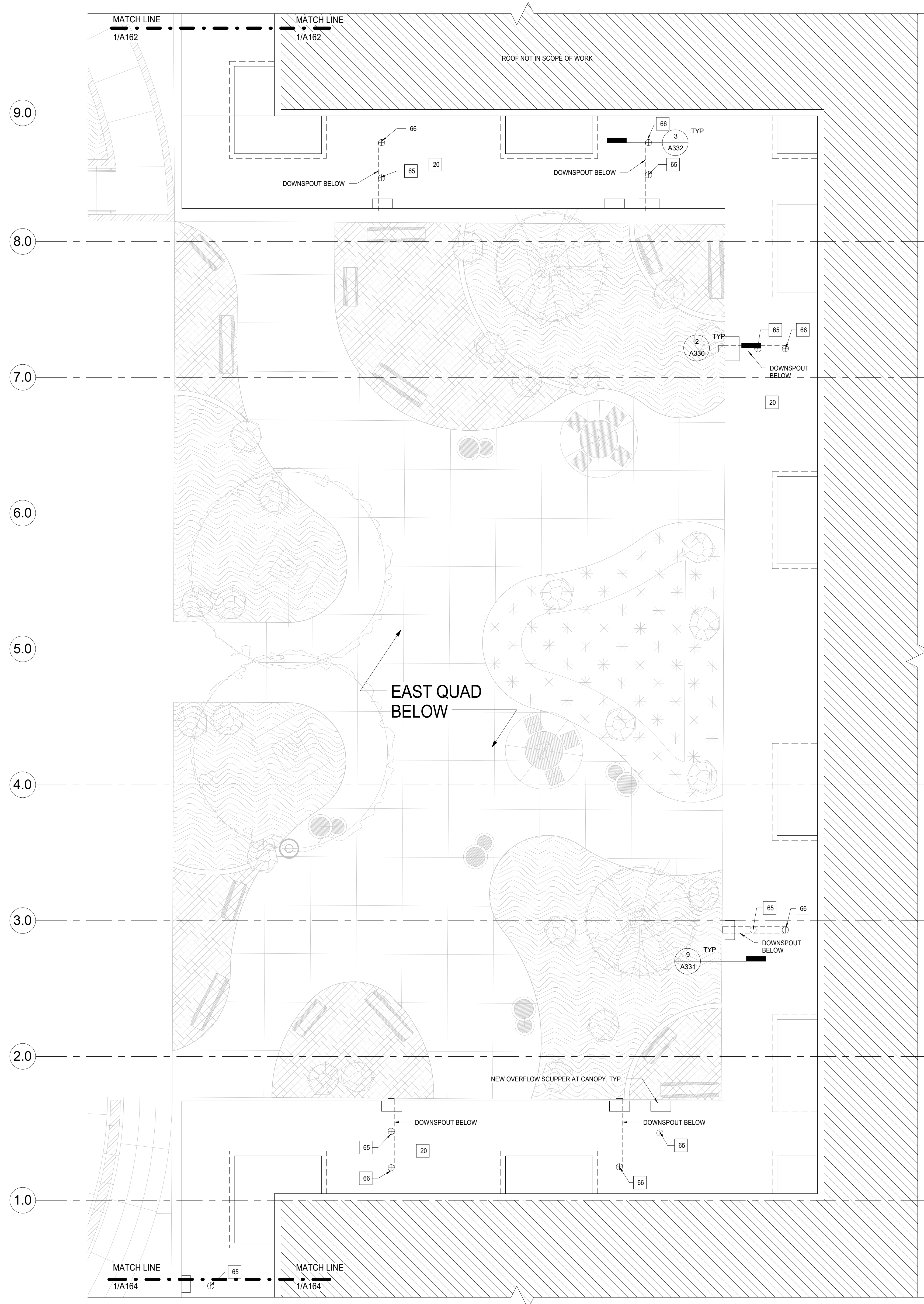
Number	Revision Description	Date

Project No 1115-0130  
Date: September 20, 2018  
Sheet:

Roof Plan - North Canopy

**A162**

BIDDING DOCUMENTS



- General Notes:**
1. PROVIDE ALL ROOFING DETAILS BY MANUFACTURERS WARRANTED SYSTEMS.
  2. PROVIDE WALKWAY PADS AT ALL ROOFTOP EQUIPMENT WORKING AREAS.
  3. PROVIDE CRICKETS ON THE HIGH SIDE OF ALL ROOFTOP EQUIPMENT TO FACILITATE DRAINAGE AND UPRIGHT COLUMN CAPITALS.
  4. ALL FLAT ROOFS TO SLOPE 1/4" PER FOOT MINIMUM.
  5. ALL CRICKETS TO SLOPE 1/4" PER FOOT MINIMUM.
  6. ROOF PERFORMANCE MUST MEET CURRENT CODES.
  7. FIELD VERIFY EXISTING ROOF CONDITIONS.
  8. INSTALL SINGLE PLY MEMBRANE AS SPECIFIED IN SECTION 07450 THERMOPLASTIC MEMBRANE ROOFING.
  9. BUR SYSTEM AND LIGHTWEIGHT CONCRETE SHALL BE LEFT IN PLACE AND NOT DEMOLISHED UNLESS OTHERWISE NOTED. REPAIR AND REPLACE AREAS OF BUR AND LIGHTWEIGHT CONCRETE FOUND TO BE WET AS SPECIFIED.
  10. NEW ROOF TO ENCAPSULATE EXISTING ROOF. ALL SLOPED RIDGES, CRICKETS AND DRAIN LOCATIONS WILL MATCH EXISTING ROOF.
  11. XRAY CONCRETE SLAB TO LOCATE REBAR PRIOR TO CORING FOR PENETRATIONS OR ANCHORING. DO NOT DAMAGE EXISTING REBAR.
  12. ALL WOOD TO BE PRESSURE TREATED.
  13. RAISE EQUIPMENT AT NECESSARY TO ACCOMMODATE NEW ROOFING AND DETAILING.
  14. SCAN PARAPET TO LOCATE REBAR PRIOR TO CORING FOR PENETRATIONS OR ANCHORING. DO NOT DAMAGE EXISTING REBAR.

**Keynote Legend**

Key Value	Keynote Text
20	SINGLE PLY "COOL ROOF"
65	EXISTING DRAIN, ABANDON PATCH AND REPAIR (S/A333)
66	NEW DRAIN (S/A330)

- NOTES:**
1. VERIFY ALL MEASUREMENTS IN FIELD.
  2. NOT ALL EQUIPMENT IS SHOWN. CONTRACTOR TO VERIFY.
  3. IF REQUIRED BY THE NEW SYSTEM MANUFACTURER, REMOVE ALL EXISTING EDGE METAL AND BASE FLASHINGS.
  4. PARAPET WALL TO RECEIVE NEW LINER SHIM AND CAP FLASHING. REFER TO DETAIL DRAWINGS.
  5. ADMINISTRATION ROOF AND CANOPIES HAVE EXISTING SLOPED SURFACES. PROVIDE CRICKETS AT EQUIPMENT AS NEEDED.
  6. RAISE EQUIPMENT AS NEEDED TO ACCOMMODATE NEW ROOF THICKNESS.

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Number	Revision Description	Date

Project No 1115-0130  
Date: September 20, 2018  
Sheet:

Roof Plan - East Canopy

**A163**

BIDDING DOCUMENTS

**ROOF PERMIT - ROOF PLAN - EAST CANOPY**

**1**

3/16" = 1'-0"  
1 / A160

- General Notes:**
1. PROVIDE ALL ROOFING DETAILS BY MANUFACTURERS WARRANTED SYSTEMS.
  2. PROVIDE WALKWAY PADS AT ALL ROOFTOP EQUIPMENT WORKING AREAS.
  3. PROVIDE CRICKETS ON THE HIGH SIDE OF ALL ROOFTOP EQUIPMENT TO FACILITATE DRAINAGE AND UPTURNED COLUMN CAPITALS.
  4. ALL FLAT ROOFS TO SLOPE 1/4" PER FOOT MINIMUM.
  5. ALL CRICKETS TO SLOPE 1/4" PER FOOT MINIMUM.
  6. ROOF PERFORMANCE MUST MEET CURRENT CODES.
  7. FIELD VERIFY EXISTING ROOF CONDITIONS.
  8. INSTALL SINGLE PLY MEMBRANE AS SPECIFIED IN SECTION 07450 THERMOPLASTIC MEMBRANE ROOFING.
  9. BUR SYSTEM AND LIGHTWEIGHT CONCRETE SHALL BE LEFT IN PLACE AND NOT DEMOLISHED UNLESS OTHERWISE NOTED. REPAIR AND REPLACE AREAS OF BUR AND LIGHTWEIGHT CONCRETE FOUND TO BE WET AS SPECIFIED.
  10. NEW ROOF TO ENCAPSULATE EXISTING ROOF. ALL SLOPES, RIDGES, CRICKETS AND DRAIN LOCATIONS WILL MATCH EXISTING ROOF.
  11. XRAY CONCRETE SLAB TO LOCATE REBAR PRIOR TO CORING FOR PENETRATIONS OR ANCHORING. DO NOT DAMAGE EXISTING REBAR.
  12. ALL WOOD TO BE PRESSURE TREATED.
  13. RAISE EQUIPMENT AT NECESSARY TO ACCOMMODATE NEW ROOFING AND DETAILING.
  14. SCAN PARAPET TO LOCATE REBAR PRIOR TO CORING FOR PENETRATIONS OR ANCHORING. DO NOT DAMAGE EXISTING REBAR.

**Keynote Legend**

Key Value	Keynote Text
20	SINGLE PLY "COOL ROOF"
65	EXISTING DRAIN, ABANDON PATCH AND REPAIR (5/A333)
66	NEW DRAIN (3/A330)

- NOTES:**
1. VERIFY ALL MEASUREMENTS IN FIELD.
  2. NOT ALL EQUIPMENT IS SHOWN. CONTRACTOR TO VERIFY.
  3. IF REQUIRED BY THE NEW SYSTEM MANUFACTURER, REMOVE ALL EXISTING EDGE METAL AND BASE FLASHINGS.
  4. PARAPET WALL TO RECEIVE NEW LINER SHIM AND CAP FLASHING. REFER TO DETAIL DRAWINGS.
  5. ADMINISTRATION ROOF AND CANOPIES HAVE EXISTING SLOPED SURFACES. PROVIDE CRICKETS AT EQUIPMENT AS NEEDED.
  6. RAISE EQUIPMENT AS NEEDED TO ACCOMMODATE NEW ROOF THICKNESS.

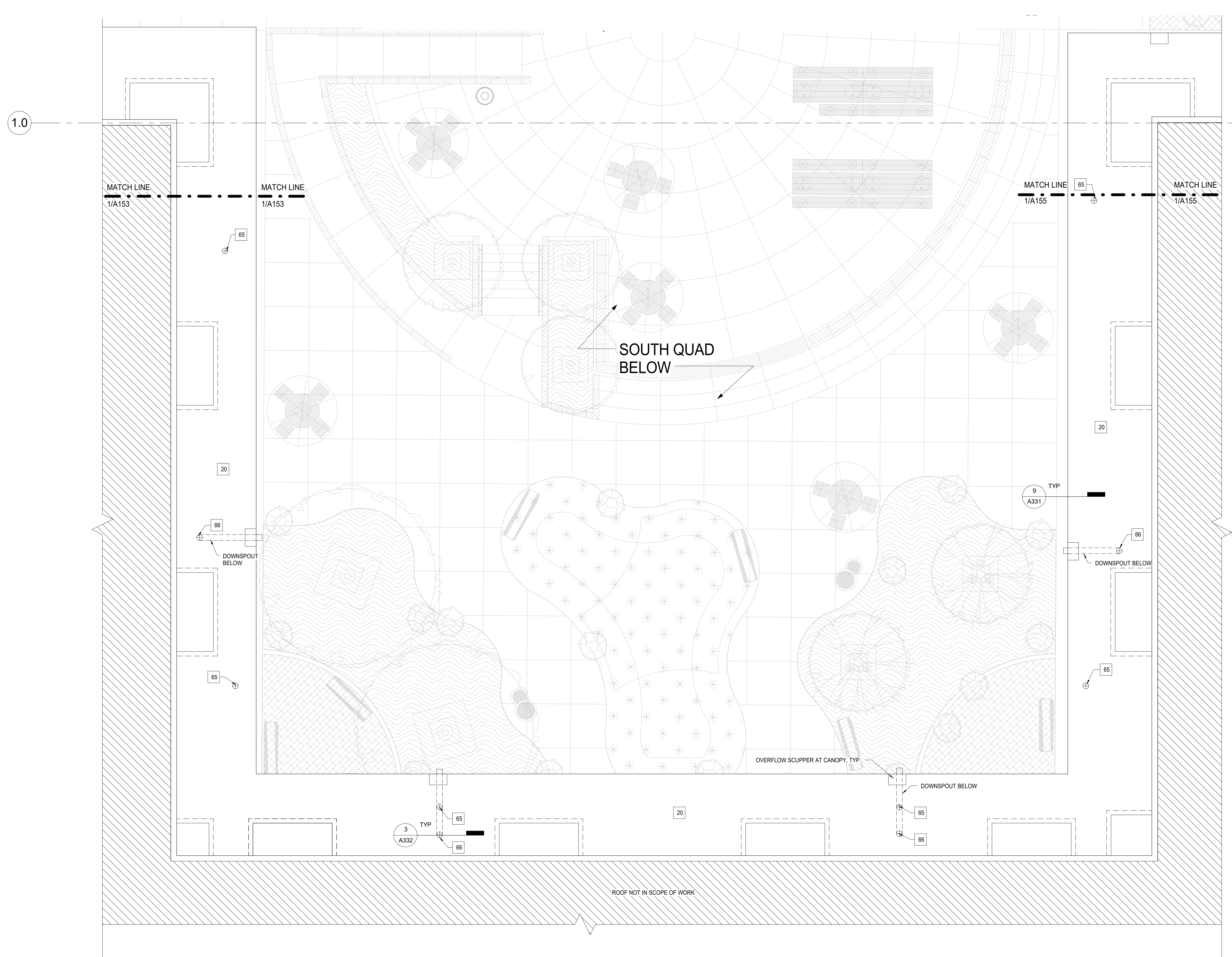
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**ROOF PLAN - SOUTH CANOPY**

**1**

3/16" = 1'-0"  
 1 / A160

Project No 1115-0130  
 Date September 20, 2018  
 Sheet:

Roof Plan - South Canopy  
**A164**  
 BIDDING DOCUMENTS



Number	Revision Description	Date
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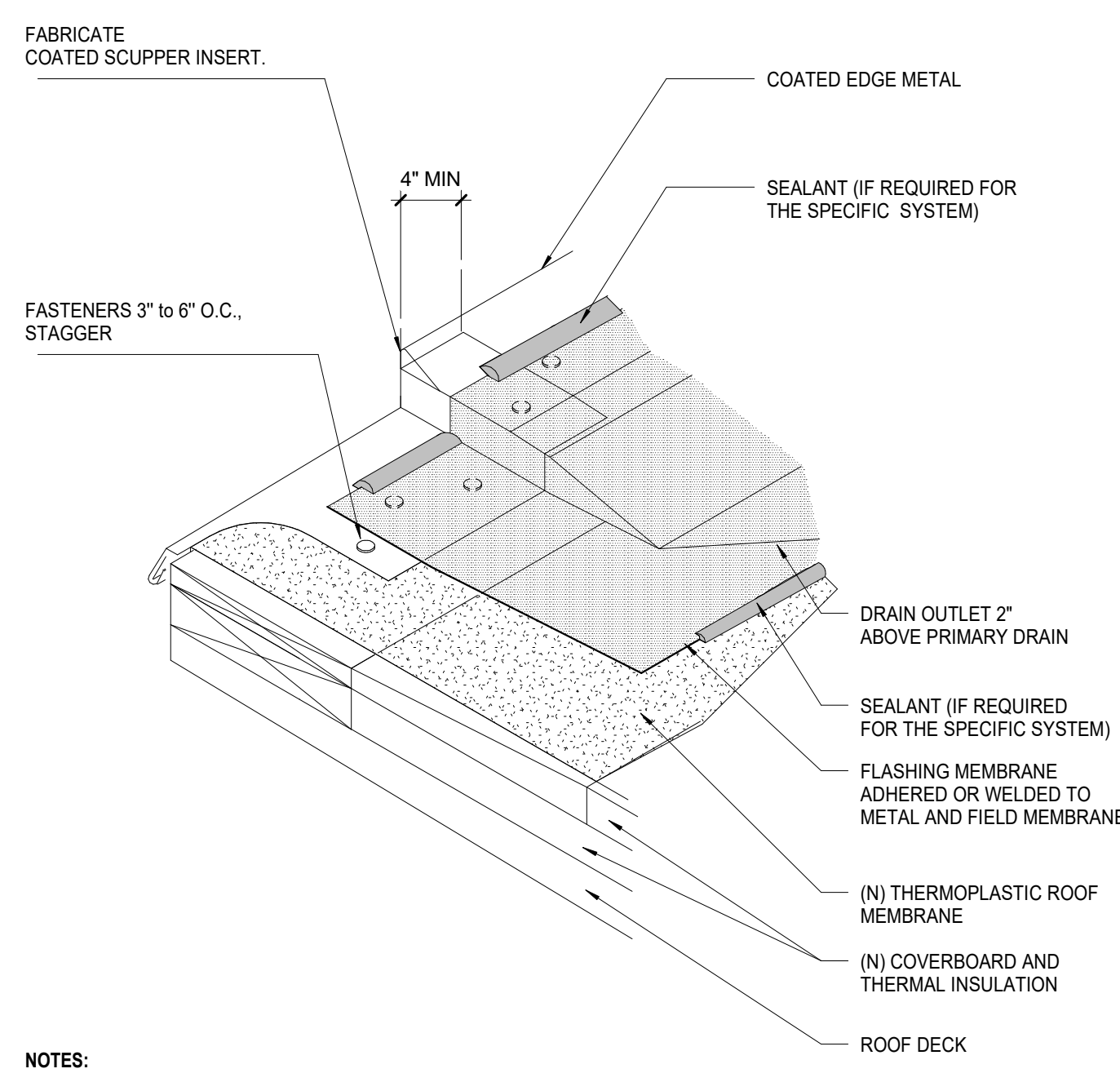


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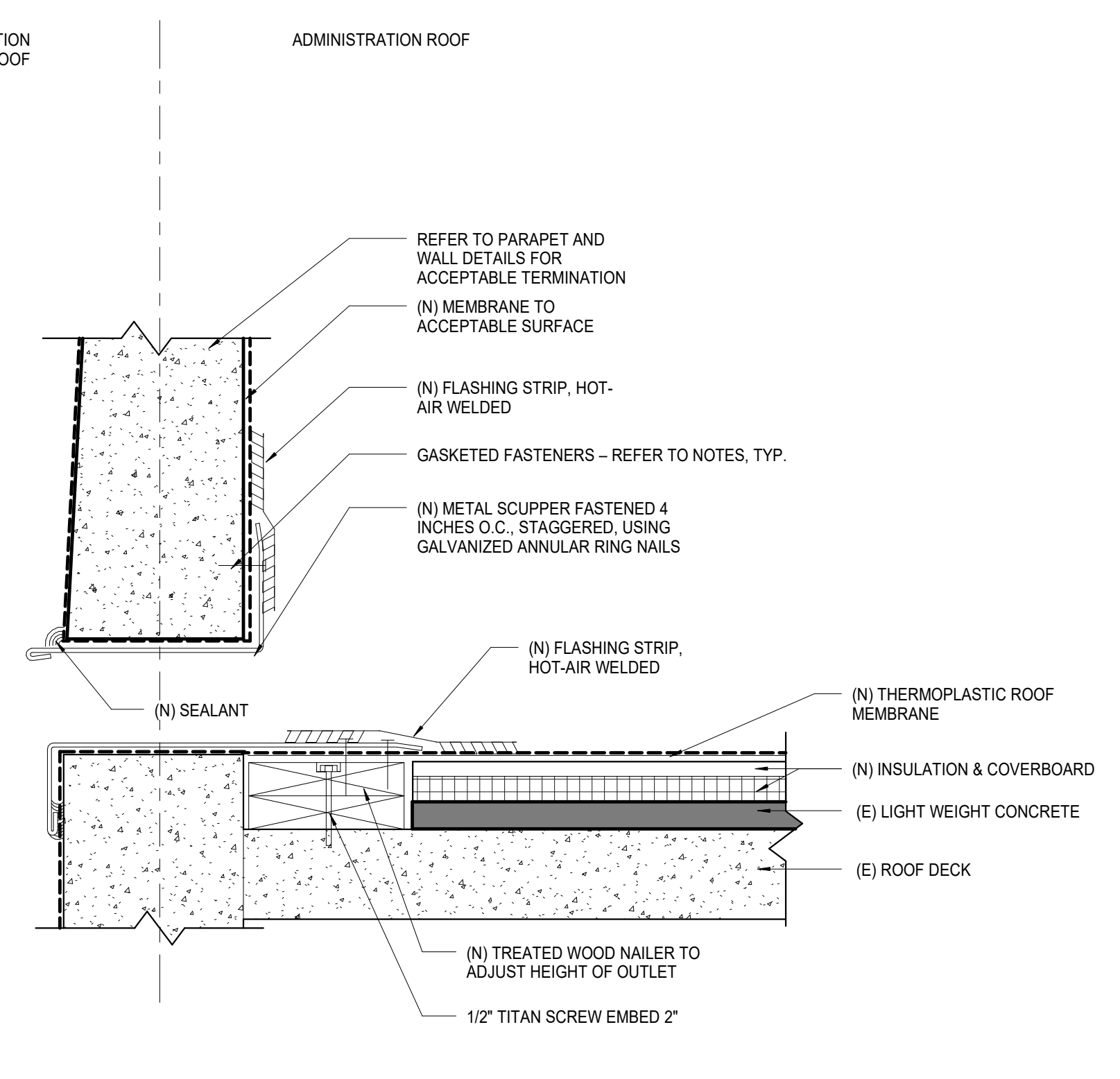
- NOTES:**
1. OVERFLOW SCUPPER OUTLETS SHALL BE 2" ABOVE PRIMARY DRAINS.
  2. XRAY AS NECESSARY TO LOCATE REBAR PRIOR TO ANCHORING OR CORING. DO NOT DAMAGE REBAR.
- SCUPPER THROUGH RAISED EDGE

**SCUPPER THROUGH RAISED EDGE**

**1**

3" = 1'-0"

1 / A161



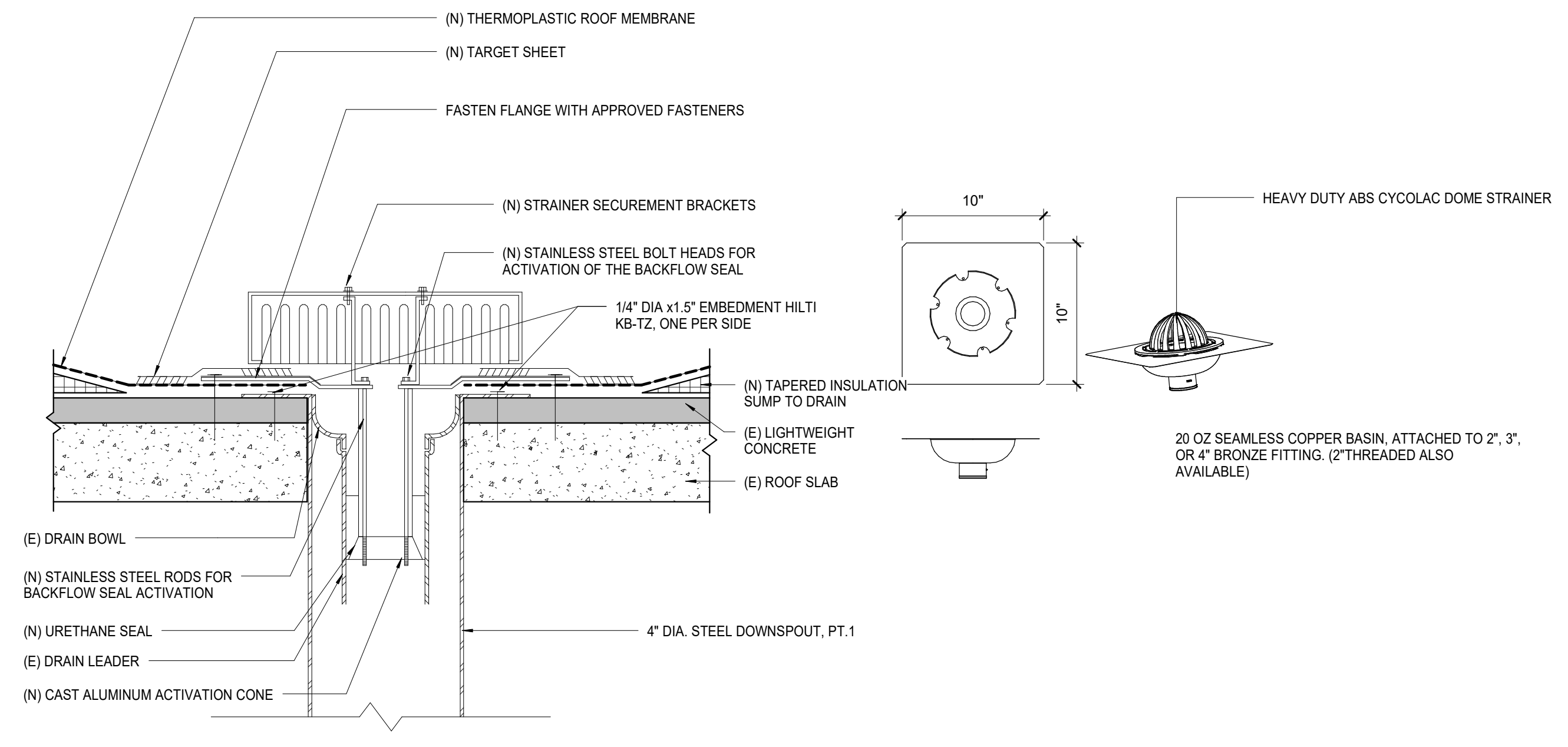
- NOTE:**
1. OVERFLOW SCUPPER OUTLET SHALL BE LOCATED 2" HIGHER THAN THE PRIMARY DRAIN OUTLET.
  2. INSTALL ONE OVERFLOW SCUPPER FOR EACH PRIMARY DRAIN.
  3. SCUPPER SHALL BE CONSTRUCTED OUT OF COATED SHEET METAL ENABLING IT TO BE HEAT WELDED TO THE MEMBRANE.
  4. USE GASKETED FASTENERS TO SECURE THE METAL COVER ONTO THE SLEEPER. SIZE AND TYPE SHALL BE NON-CORROSIVE AND APPROVED BY THE CHOSEN ROOFING MANUFACTURER.
  5. XRAY AS NECESSARY TO LOCATE REBAR PRIOR TO ANCHORING OR CORING. DO NOT DAMAGE REBAR.

**OVERFLOW DRAINAGE SCUPPER**

**2**

3" = 1'-0"

1 / A161



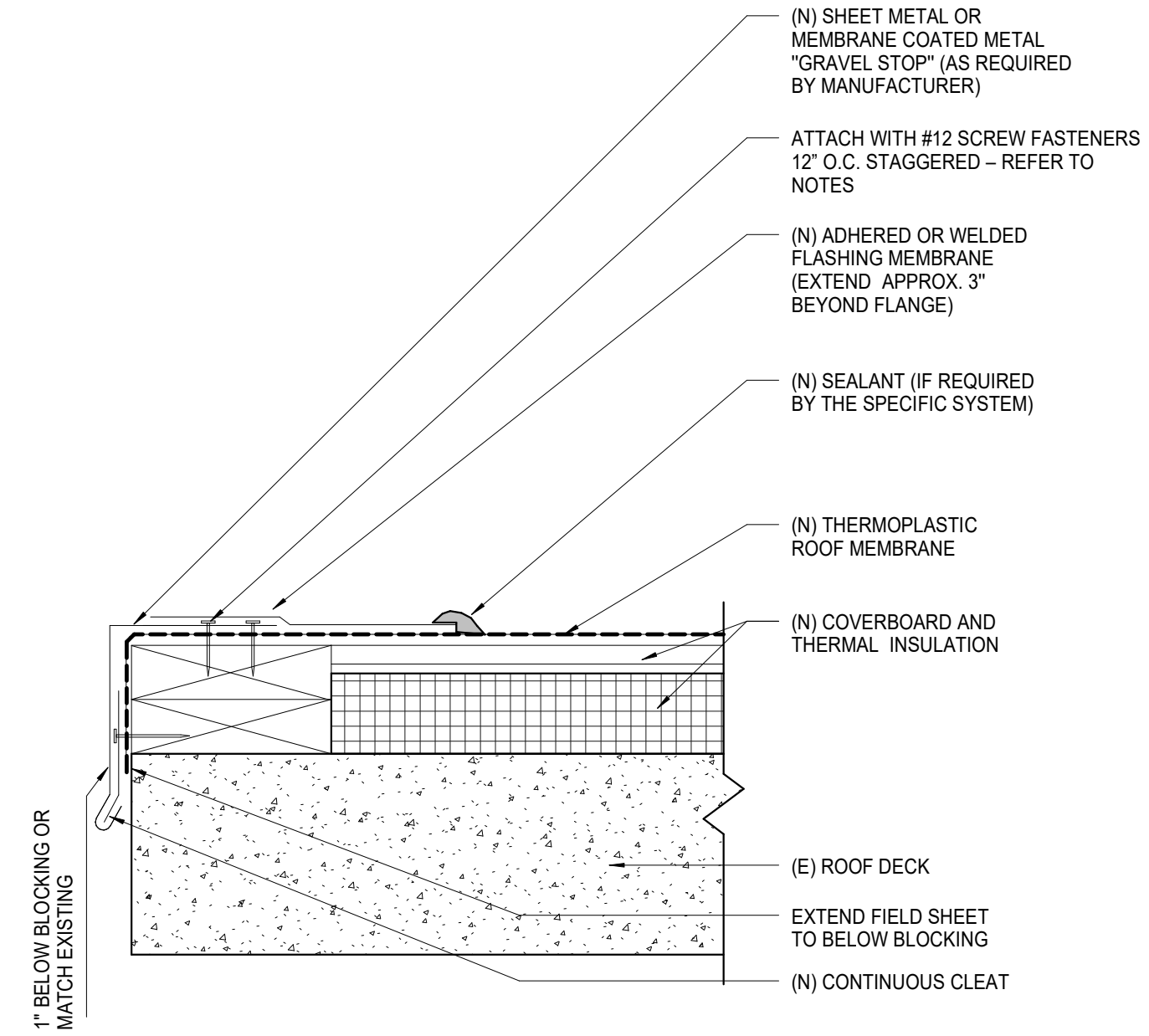
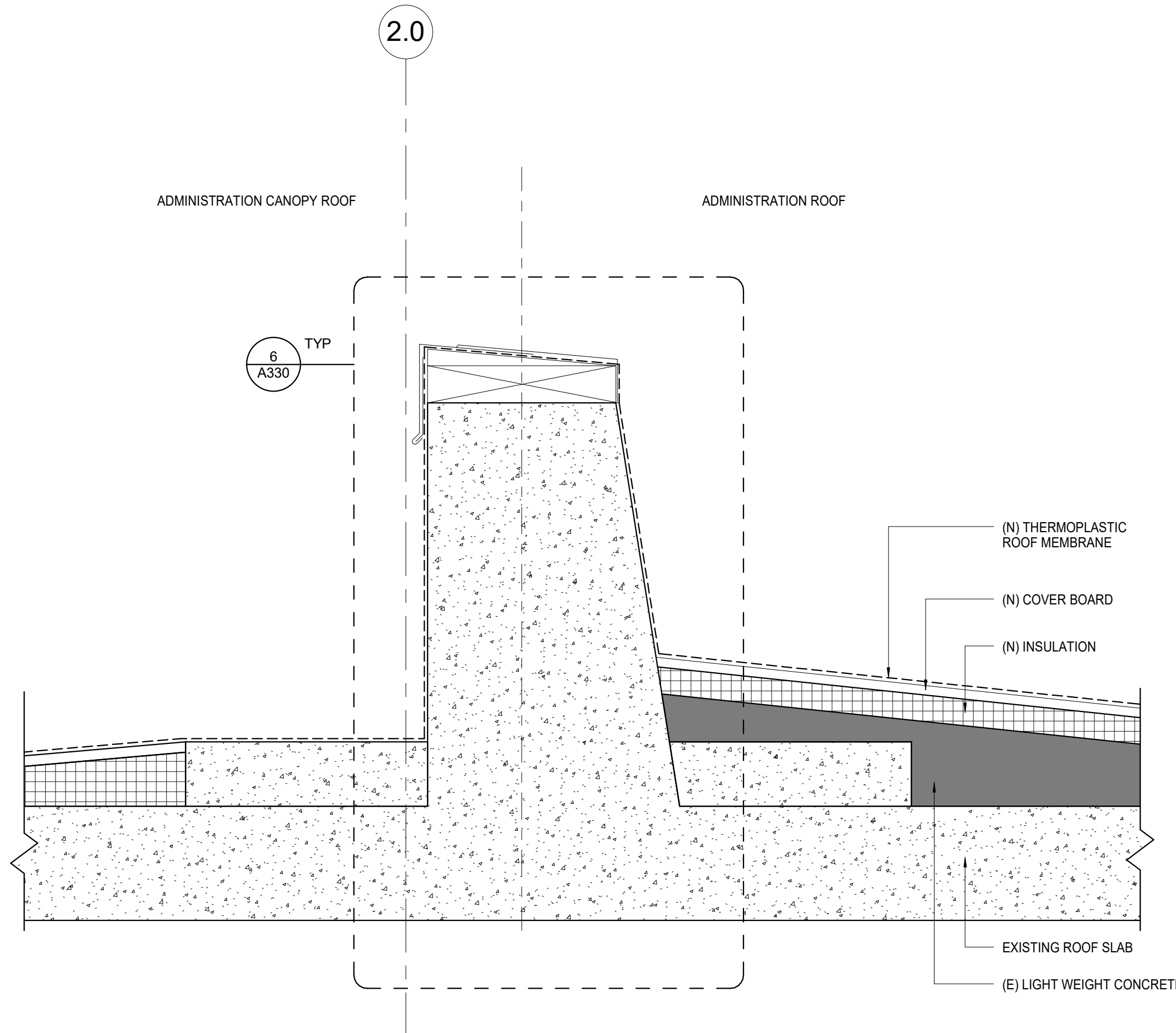
- NOTES:**
1. PROVIDE 3'x3' SUMP TO FACILITATE DRAINAGE.
  2. LOWER DRAIN TO DECK LEVEL. REMOVE JOSSAM BOWL IF NECESSARY.
  3. IF ANOTHER TYPE OF DRAIN INSERT IS PROPOSED, PROVIDE SHOP DRAWINGS TO ENGINEER FOR APPROVAL.
  4. XRAY AS NECESSARY TO LOCATE REBAR PRIOR TO ANCHORING OR CORING. DO NOT DAMAGE REBAR.

**DRAIN INSERT WITH SUMP**

**3**

1 1/2" = 1'-0"

1 / A161



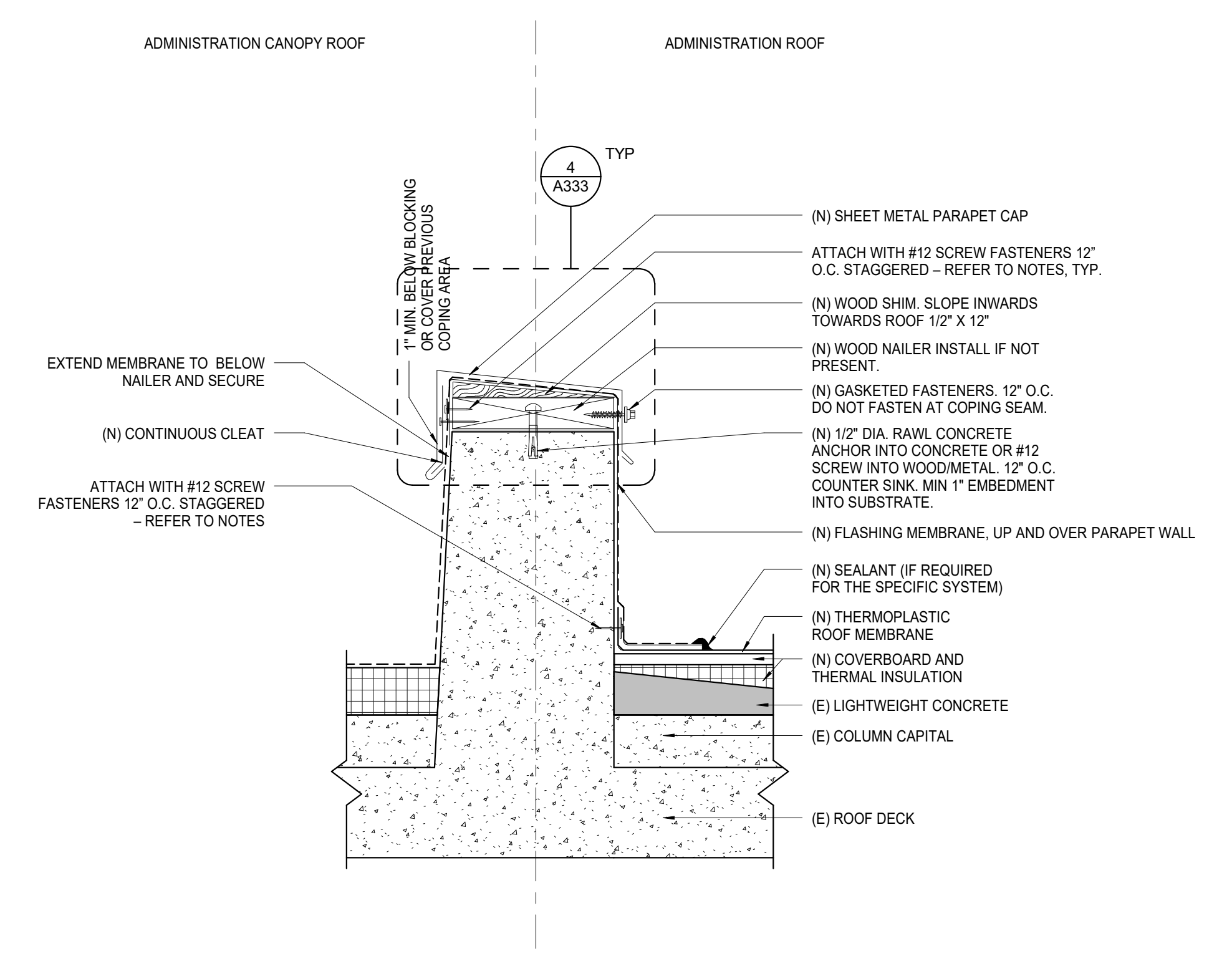
- NOTES:**
1. CLEAT SHALL BE 1 LEVEL GAUGE HIGHER THAN EDGING.
  2. METAL EDGE DESIGN SHALL OBTAIN SPECIFIED WIND RATINGS. IF EDGE CONFIGURATION FOR PROPOSED MANUFACTURER DIFFERS FROM THAT SHOWN, CONTRACTOR SHALL PROVIDE APPROVED DRAWING AS PART OF THE SUBMITTAL PROCESS.
  3. MEMBRANE AND BASE FLASHING ATTACHMENT METHOD VARIES BASED ON ROOFING SYSTEM. THE ATTACHMENT METHOD MUST BE APPROVED BY THE CHOSEN ROOFING MANUFACTURER.
  4. XRAY AS NECESSARY TO LOCATE REBAR PRIOR TO ANCHORING OR CORING. DO NOT DAMAGE REBAR.

**EMBEDDED EDGE METAL FLASHING (NOSING)**

**5**

3" = 1'-0"

1 / A152-A



- NOTES:**
1. METAL EDGE PROFILE MAY DIFFER SLIGHTLY WITH MANUFACTURER.
  2. FOR NAILER AND METAL NOSING ATTACHMENT - Perimeter nailer and metal attachment shall meet ANSISPRI ES-1 - American National Standard Wind Design Standard for Edge Systems Used with Low Slope Roofing Systems. SINCE SPECIFICS DIFFER FROM MANUFACTURER TO MANUFACTURER, CONTRACTOR SHALL SUBMIT FASTENING SPECIFICATIONS FOR THEIR PROPOSED MANUFACTURER AS PART OF THE SUBMITTAL PROCESS.
  3. IF REQUIRED BY MANUFACTURER, INSTALL NAILERS AT THE BASE OF THE WALL (NOT SHOWN ON THIS DRAWING). NAILER THICKNESS SHALL MATCH INSULATION.
  4. MEMBRANE AND BASE FLASHING ATTACHMENT METHOD VARIES BASED ON ROOFING SYSTEM. THE ATTACHMENT METHOD MUST BE APPROVED BY THE CHOSEN ROOFING MANUFACTURER.
  5. USE GASKETED FASTENERS TO SECURE THE METAL COVER ONTO THE SLEEPER. SIZE AND TYPE SHALL BE NON-CORROSIVE AND APPROVED BY THE CHOSEN ROOFING MANUFACTURER.
  6. XRAY AS NECESSARY TO LOCATE REBAR PRIOR TO ANCHORING OR CORING. DO NOT DAMAGE REBAR.

**METAL PARAPET CAP (COPING) AND BASE FLASHING**

**6**

3" = 1'-0"

1 / A161

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Number	Revision Description	Date

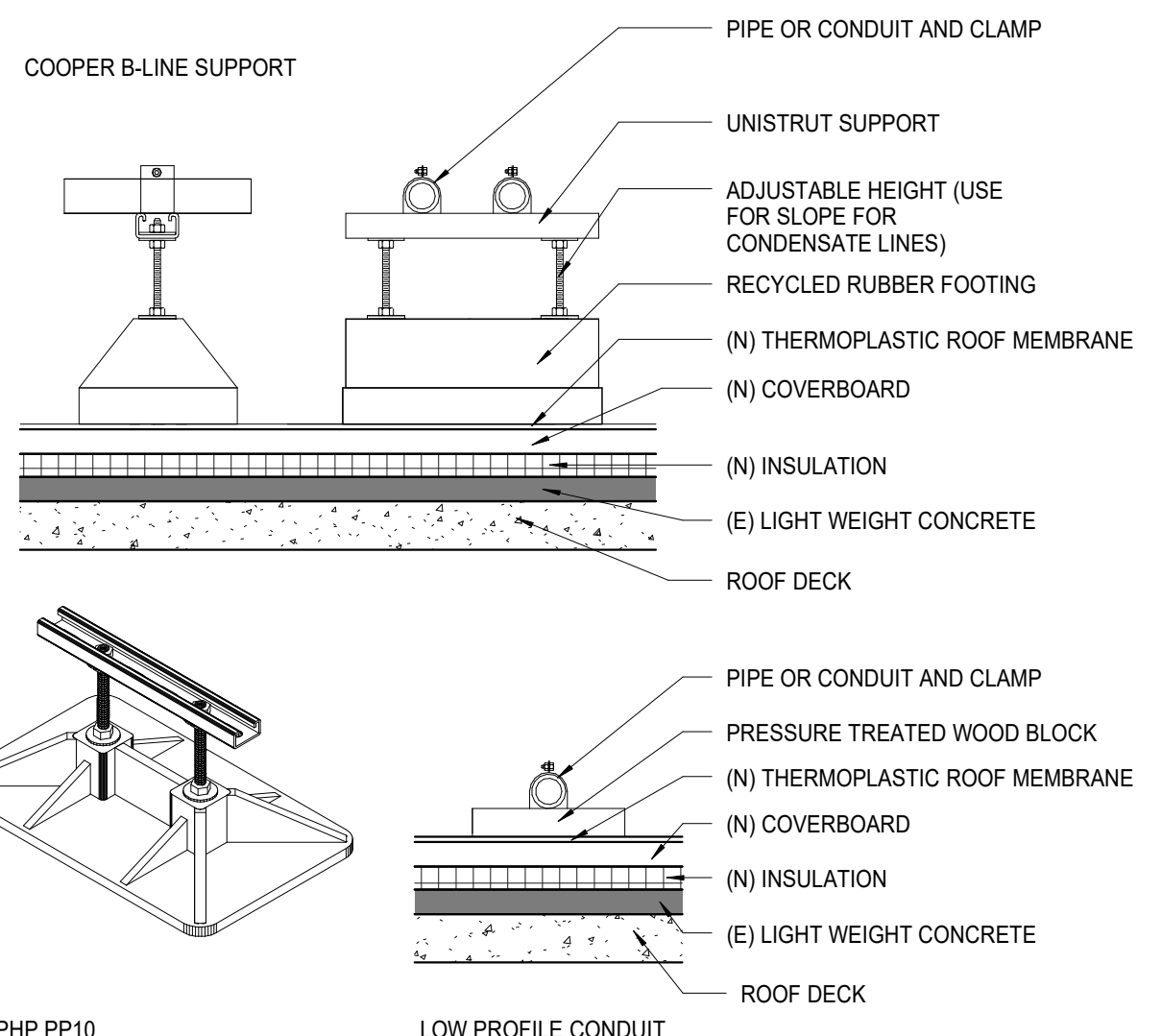
Project No 1115-0130  
Date: September 20, 2018  
Sheet: \_\_\_\_\_

**Mt. Pleasant High School**

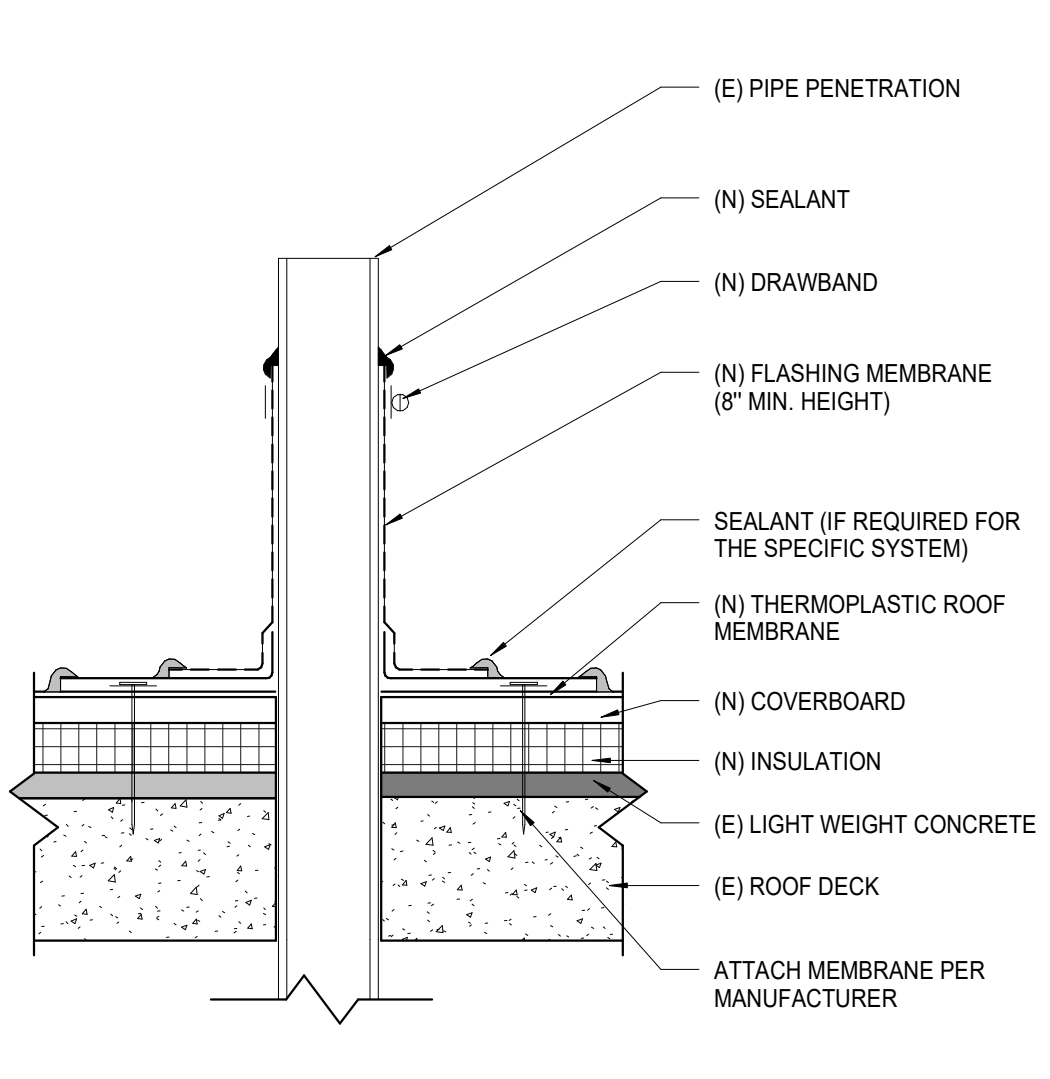
1750 S. White Road  
San Jose, CA 95127

owner:  
East Side Union High School District  
Facilities & Planning Division  
830 North Capitol Avenue  
San Jose CA 95133  
United States  
408.347.5102 voice  
408.347.5115 fax

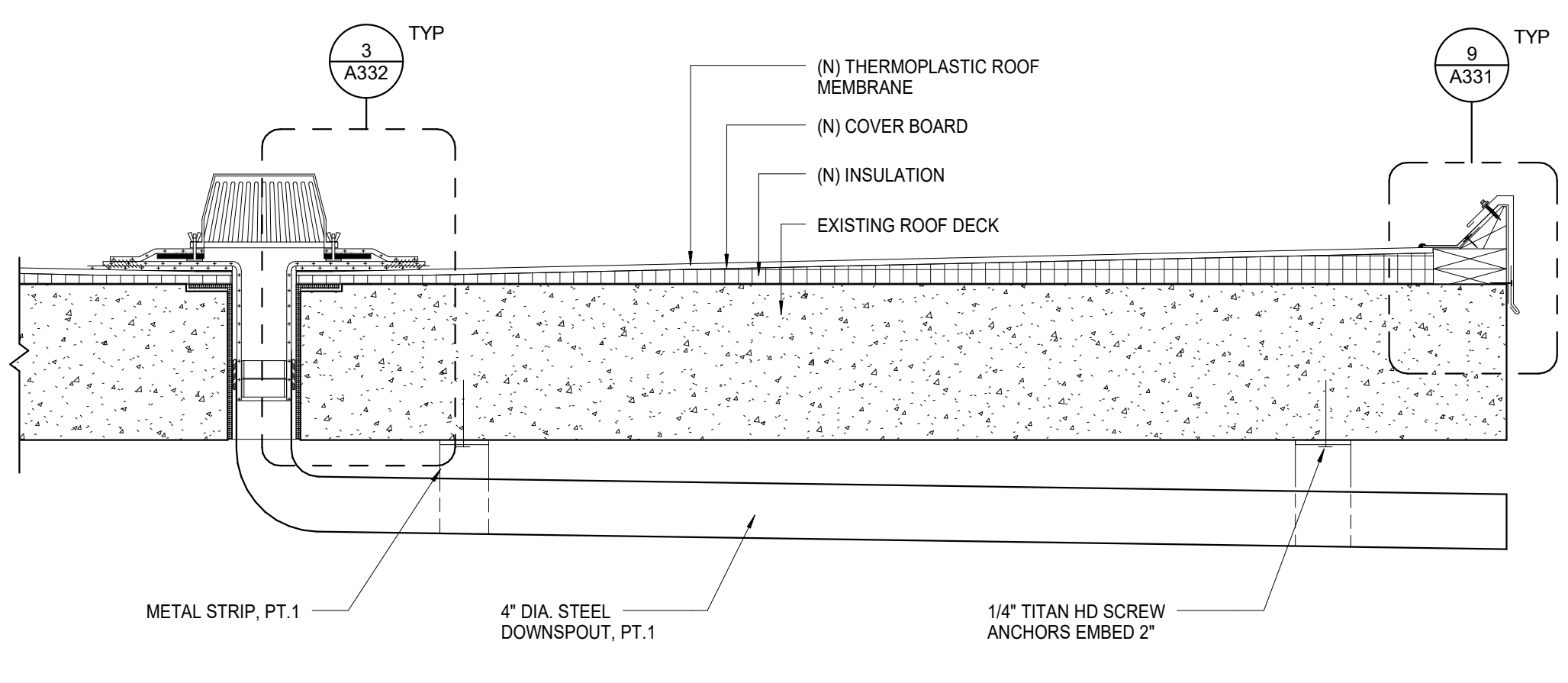
architect:  
Gould Evans Associates  
95 Brady Street  
San Francisco CA 94103  
United States  
415.503.1411  
www.gouldevans.com



- PHIP PP10 CLAMP NOT SHOWN
- LOW PROFILE CONDUIT SUPPORT
- USE THIS DETAIL SYSTEM TO SECURE CONDENSATE LINES, ELECTRICAL CONDUITS OR OTHER LINES THAT DO NOT NEED TO BE MECHANICALLY ATTACHED TO THE ROOF SUBSTRATE.
  - BASE MAY BE ADHERED TO MEMBRANE TO PREVENT CONDUIT OR LINE FROM MOVING. USE APPROVED SEALANT AND DO NOT PENETRATE MEMBRANE.
  - CONDENSATE LINES SHALL HAVE POSITIVE SLOPE TO DRAIN.
  - USE LOW PROFILE SUPPORT ONLY WHEN EXISTING CONDUIT CANNOT BE RAISED.
  - RAISE UTILITIES AS NECESSARY AT ALL LOCATIONS THAT CURRENTLY SIT DIRECTLY ON ROOF OR SIMPLE WOOD BLOCKING.
  - XRAY AS NECESSARY TO LOCATE REBAR PRIOR TO ANCHORING OR CORING. DO NOT DAMAGE REBAR.
  - PROTECTED WOOD SLEEPER SUPPORT FOR GAS LINES
  - USE PRESSURE TREATED WOOD



- PIPE OR STAND PENETRATION (FIELD WRAP)
- NOTE:
- XRAY AS NECESSARY TO LOCATE REBAR PRIOR TO ANCHORING OR CORING. DO NOT DAMAGE REBAR.



- NOTE:
- PT. 1 - DUNN EDWARDS PAINT, DEW341, SWISS COFFEE, LRV 83
  - XRAY AS NECESSARY TO LOCATE REBAR PRIOR TO ANCHORING OR CORING. DO NOT DAMAGE REBAR.

**CONDUIT & PIPE SUPPORT**

**1**

**PIPE OR STAND PENETRATION (FIELD WRAP)**

**2**

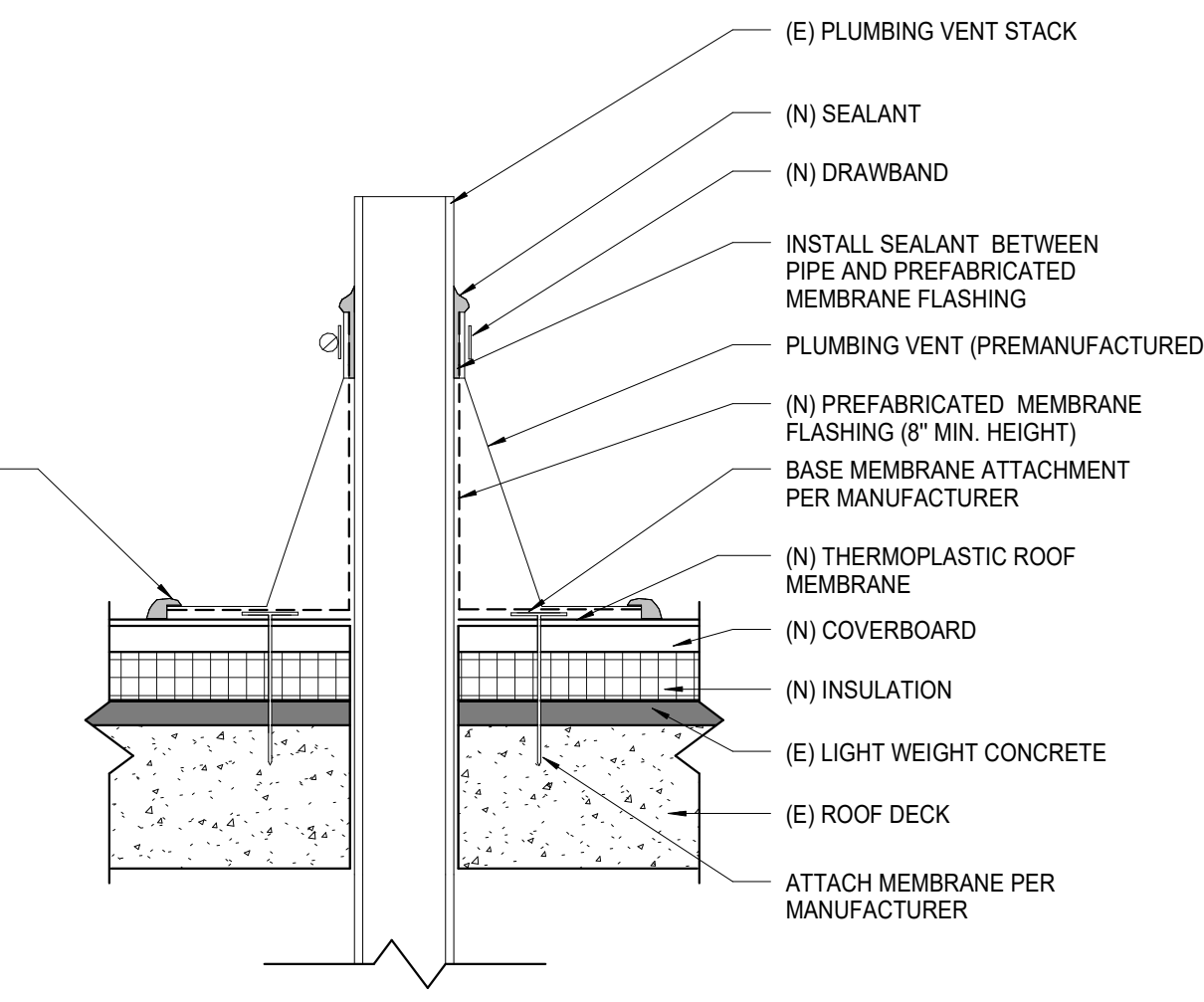
**DOWNSPOUT @ CANOPY**

**3**

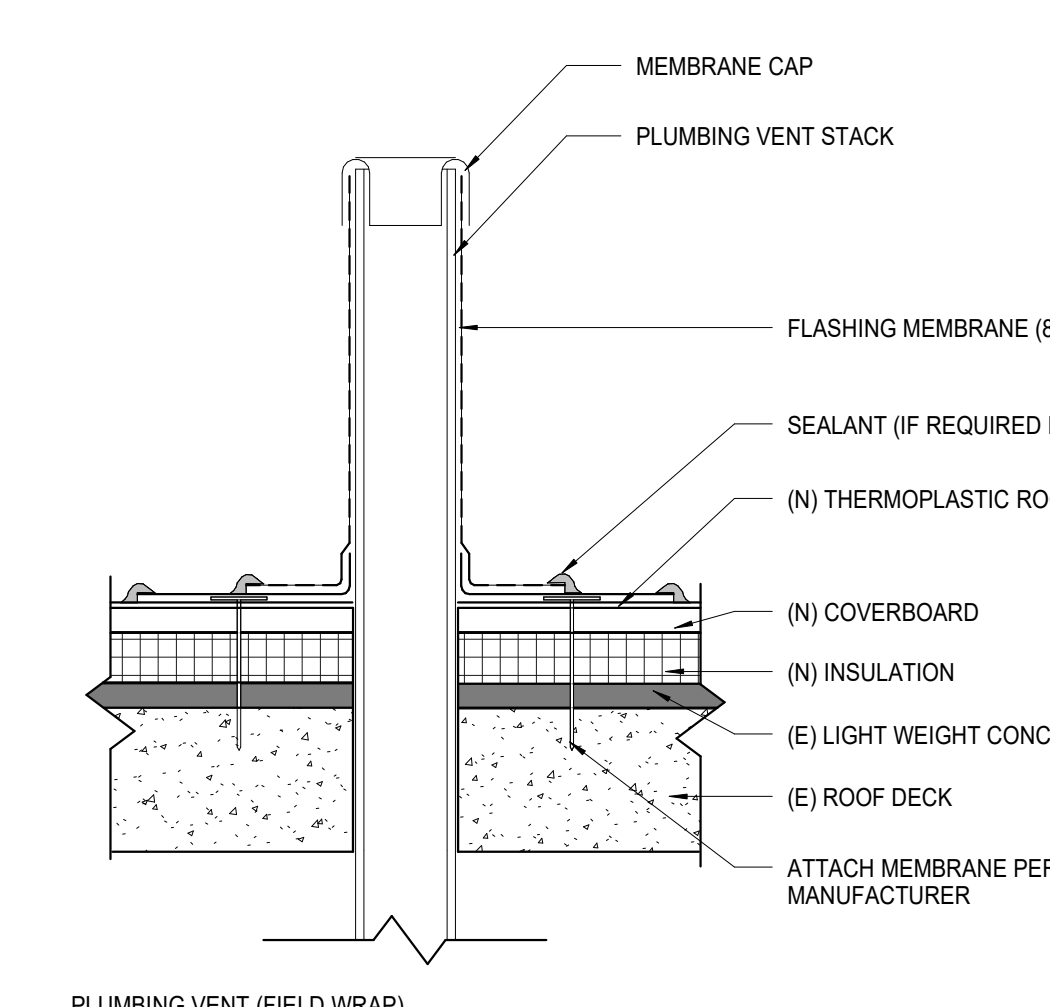
3" = 1'-0" 1 / A161

3" = 1'-0" 1 / A161

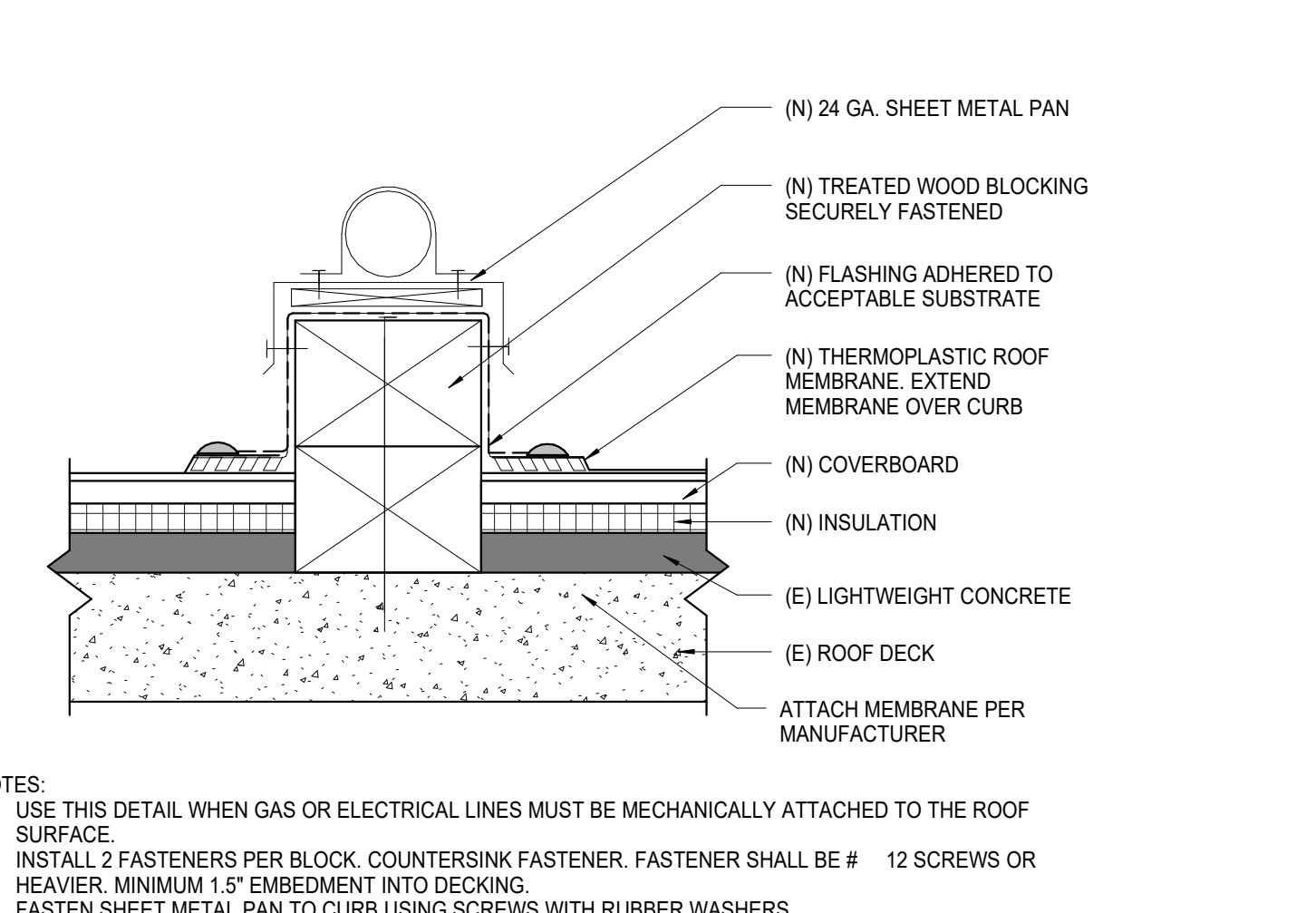
1 1/2" = 1'-0" 1 / A161



- PLUMBING VENT (PREMANUFACTURED BOOT)



- PLUMBING VENT (FIELD WRAP)
- NOTE:
- VENT STACKS AND OTHER PIPES SHOULD HAVE A MINIMUM OF 12 INCHES OF CLEARANCE ON ALL SIDES FROM WALLS, CURBS, AND OTHER PROJECTIONS TO FACILITATE PROPER FLASHING.
  - XRAY AS NECESSARY TO LOCATE REBAR PRIOR TO ANCHORING OR CORING. DO NOT DAMAGE REBAR.



- PROTECTED WOOD SLEEPER SUPPORT FOR GAS LINES
- NOTE:
- USE THIS DETAIL WHEN GAS OR ELECTRICAL LINES MUST BE MECHANICALLY ATTACHED TO THE ROOF SURFACE.
  - INSTALL 2 FASTENERS PER BLOCK, COUNTERSINK FASTENER. FASTENER SHALL BE # 12 SCREWS OR HEAVIER. MINIMUM 1 1/2" EMBEDMENT INTO DECKING.
  - FASTEN SHEET METAL PAN TO CURB USING SCREWS WITH RUBBER WASHERS.
  - FASTEN GAS LINE TO CURB WITH "U" BRACKET. FASTEN "U" BRACKET TO THE SHEET METAL PAN WITH SHEET METAL SCREWS. IF POSSIBLE, DO NOT PENETRATE MEMBRANE. INSTALL WOOD NAILER UNDER METAL CAP AND OVER MEMBRANE COVERED BLOCKING IN ORDER TO PREVENT FASTENER PENETRATION THROUGH TOP OF COVERED BLOCKING.
  - RAISE UTILITIES AS NECESSARY AT ALL LOCATIONS THAT CURRENTLY SIT DIRECTLY ON ROOF OR SIMPLE WOOD BLOCKING.
  - XRAY AS NECESSARY TO LOCATE REBAR PRIOR TO ANCHORING OR CORING. DO NOT DAMAGE REBAR.
  - PROTECTED WOOD SLEEPER SUPPORT FOR GAS LINES
  - USE PRESSURE TREATED WOOD

**PLUMBING VENT (PREMANUFACTURED BOOT)**

**4**

**PLUMBING VENT (FIELD WRAP)**

**5**

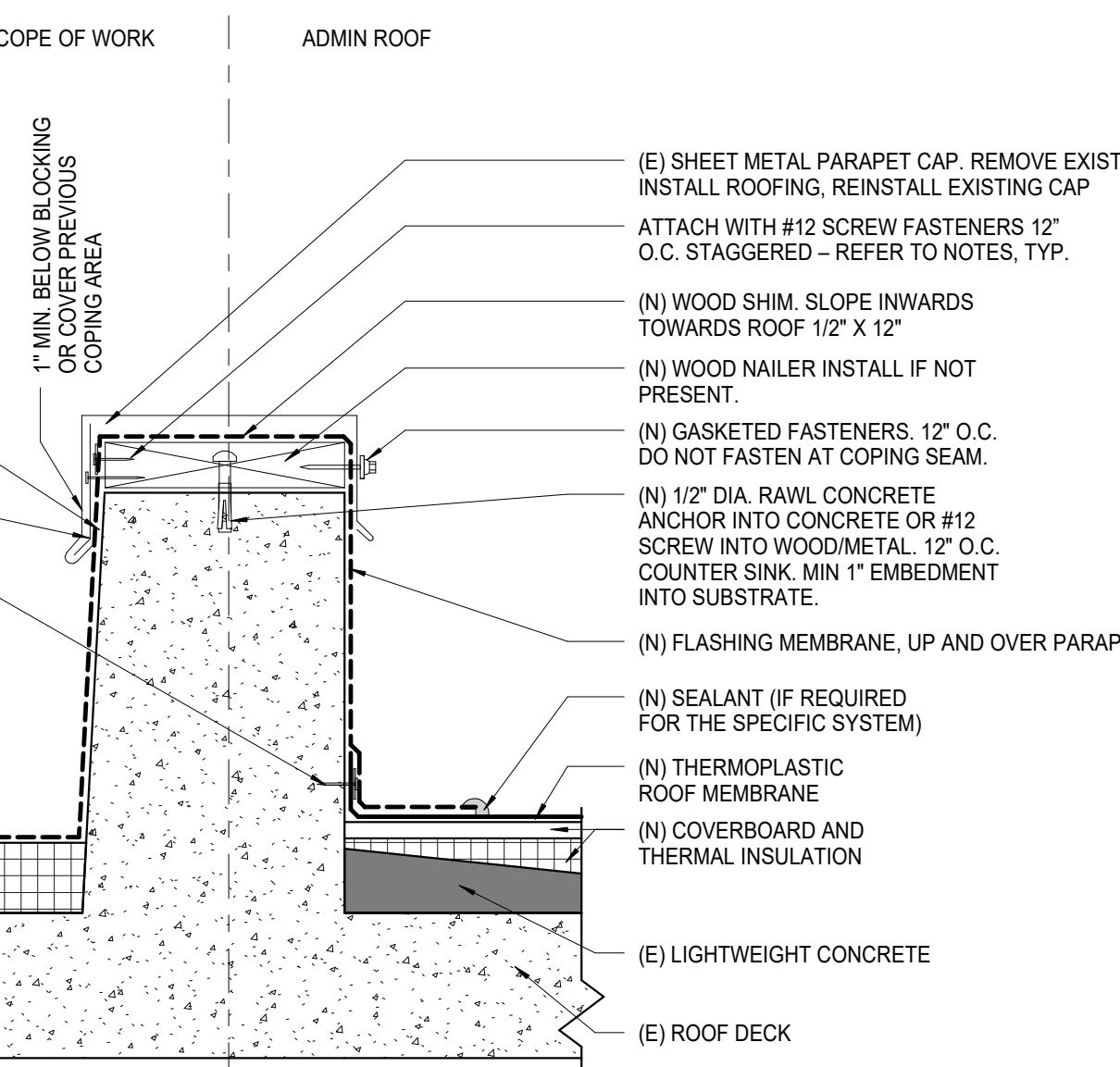
**PROTECTED WOOD SLEEPER SUPPORT FOR GAS LINES**

**6**

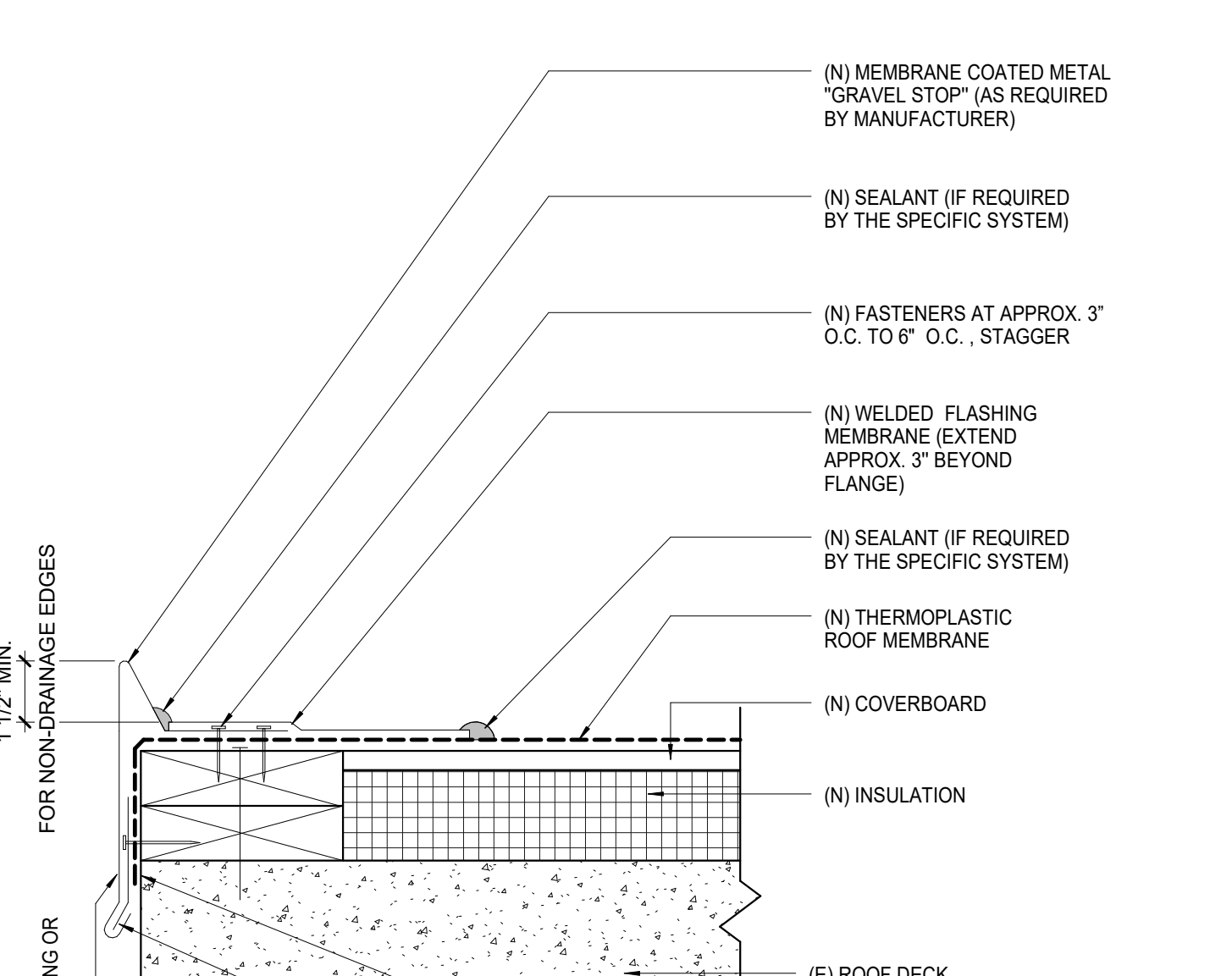
3" = 1'-0" 1 / A161

3" = 1'-0" 1 / A161

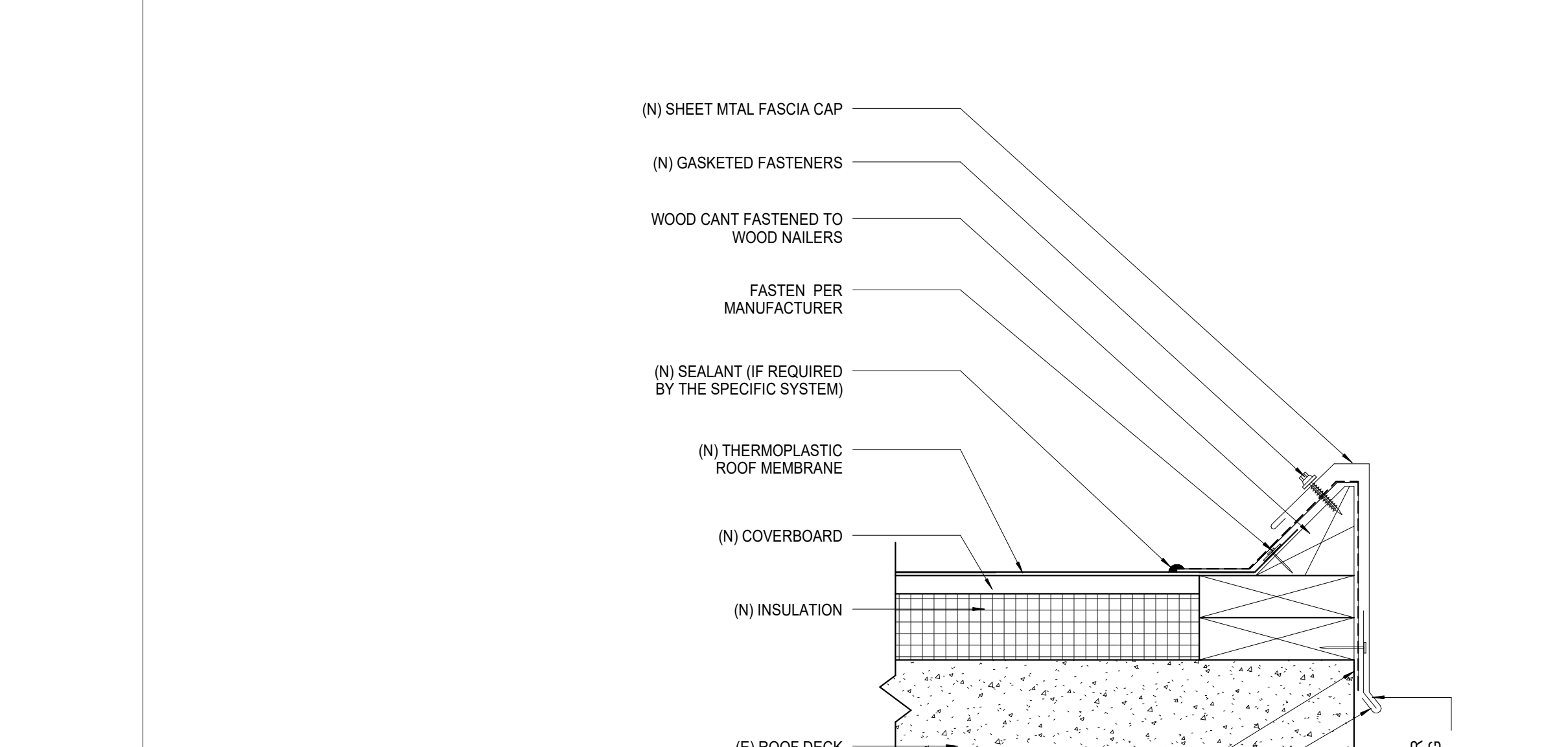
3" = 1'-0" 1 / A161



- (E) METAL PARAPET CAP (COPING) AND BASE FLASHING
- NOTE:
- METAL EDGE PROFILE MAY DIFFER SLIGHTLY WITH MANUFACTURER.
  - FOR NAILER AND METAL NOSING ATTACHMENT - Perimeter nailer and metal attachment shall meet ANSI/SPRI ES-1 - American National Standard Wind Design Standard for Edge Systems Used with Low Slope Roofing Systems. SINCE SPECIFICS DIFFER FROM MANUFACTURER TO MANUFACTURER, CONTRACTOR SHALL SUBMIT FASTENING SPECIFICATIONS FOR THEIR PROPOSED MANUFACTURER AS PART OF THE SUBMITTAL PROCESS.
  - IF REQUIRED BY MANUFACTURER, INSTALL NAILERS AT THE BASE OF THE WALL (NOT SHOWN ON THIS DRAWING). NAILER THICKNESS SHALL MATCH INSULATION.
  - MEMBRANE AND BASE FLASHING ATTACHMENT METHOD VARIES BASED ON ROOFING SYSTEM. THE ATTACHMENT METHOD MUST BE APPROVED BY THE CHOSEN ROOFING MANUFACTURER.
  - USE GASKETED FASTENERS TO SECURE THE METAL COVER ONTO THE SLEEPER. SIZE AND TYPE SHALL BE NON-CORROSIVE AND APPROVED BY THE CHOSEN ROOFING MANUFACTURER.
  - XRAY AS NECESSARY TO LOCATE REBAR PRIOR TO ANCHORING OR CORING. DO NOT DAMAGE REBAR.



- EMBEDDED EDGE METAL FLASHING (GRAVEL - STOP)
- NOTE:
- FOR NON DRAINAGE EDGES, METAL SHALL HAVE GRAVEL STOP AS SHOWN.
  - FOR DRAINAGE EDGES, METAL SHALL NOT HAVE GRAVEL STOP.
  - CLEAT SHALL BE 1" LEVEL GAUGE HIGHER THAN EDGING.
  - METAL EDGE DESIGN SHALL OBTAIN SPECIFIED WIND RATINGS. IF EDGE CONFIGURATION FOR PROPOSED MANUFACTURER DIFFERS FROM THAT SHOWN, CONTRACTOR SHALL PROVIDE APPROVED DRAWING AS PART OF THE SUBMITTAL PROCESS. Perimeter flashings shall meet ANSI/SPRI ES-1 - American National Standard Wind Design Standard for Edge Systems Used with Low Slope Roofing Systems.
  - XRAY AS NECESSARY TO LOCATE REBAR PRIOR TO ANCHORING OR CORING. DO NOT DAMAGE REBAR.



- RAISED EDGE
- NOTE:
- METAL SHALL BE 24 GA KYNAR COATED. CLEAT SHALL BE 22 GA.
  - FOLLOW ALL SMACNA GUIDELINES FOR METAL DESIGN AND INSTALLATION.
  - PERIMETER FLASHINGS SHALL MEET ANSI/SPRI ES-1 - AMERICAN NATIONAL STANDARD WIND DESIGN FOR EDGE SYSTEMS USED WITH LOW SLOPE ROOFING SYSTEMS.
  - FOR ROOF OVERLAYS, REMOVE EXISTING EDGE METAL SYSTEMS AND BASE FLASHINGS.
  - XRAY AS NECESSARY TO LOCATE REBAR PRIOR TO ANCHORING OR CORING. DO NOT DAMAGE REBAR.

**(E) METAL PARAPET CAP (COPING) AND BASE FLASHING**

**7**

**EMBEDDED EDGE METAL FLASHING (GRAVEL - STOP)**

**8**

**RAISED EDGE**

**9**

3" = 1'-0" 1 / A161

3" = 1'-0" 1 / A161

3" = 1'-0" 1 / A161

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Project No 1115-0130  
Date September 20, 2018  
Sheet

Roof Details

**A331**

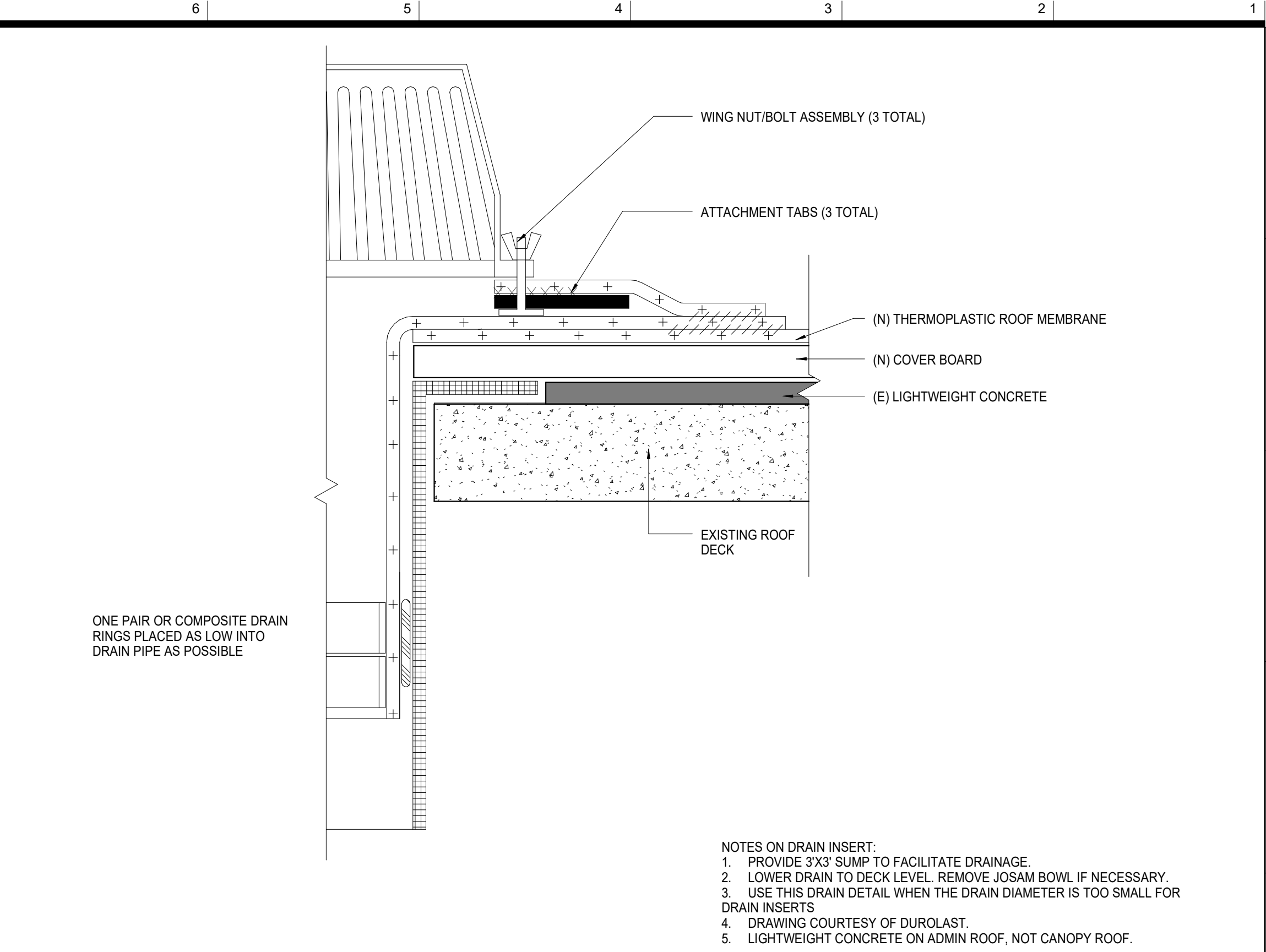
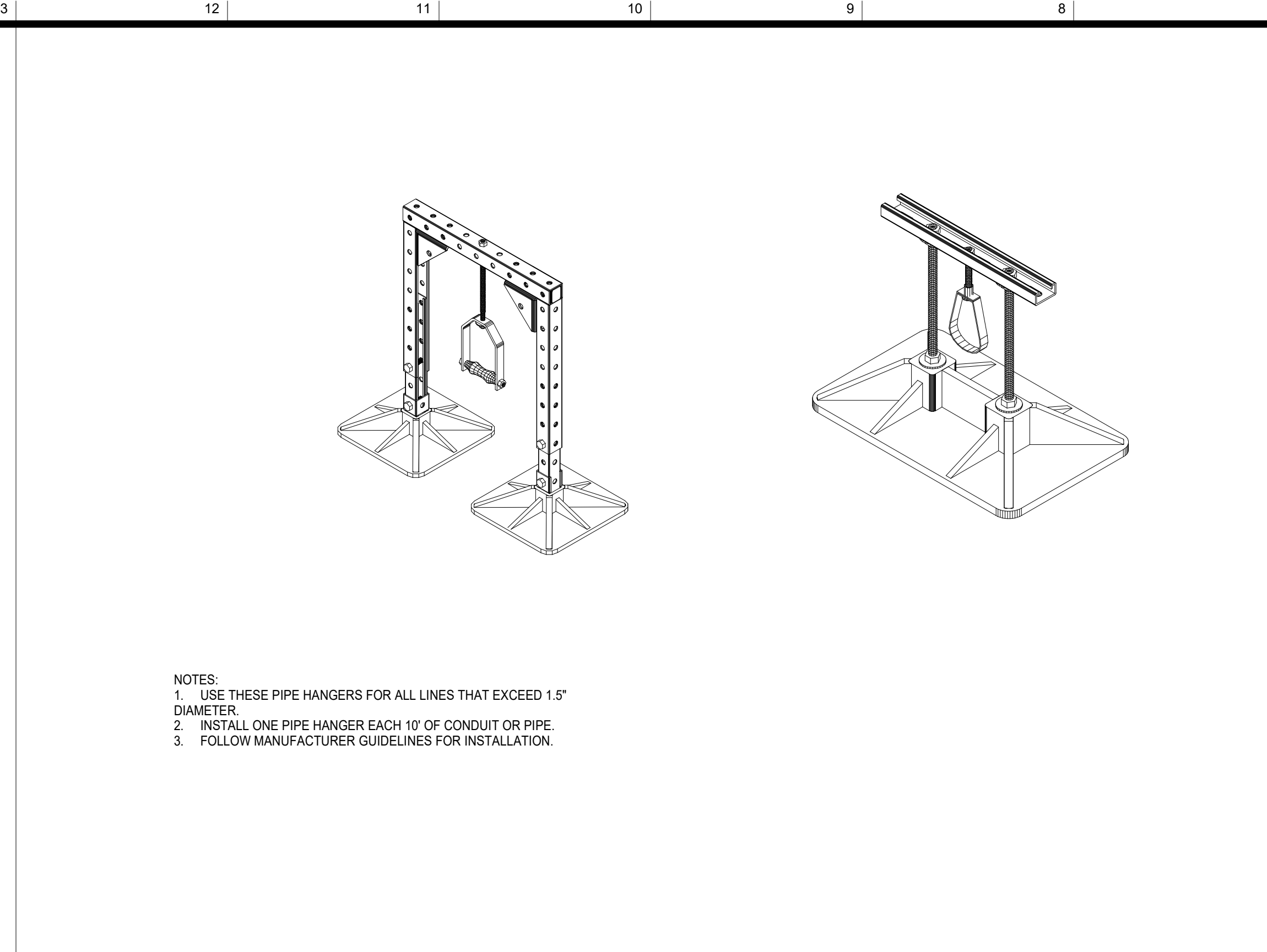
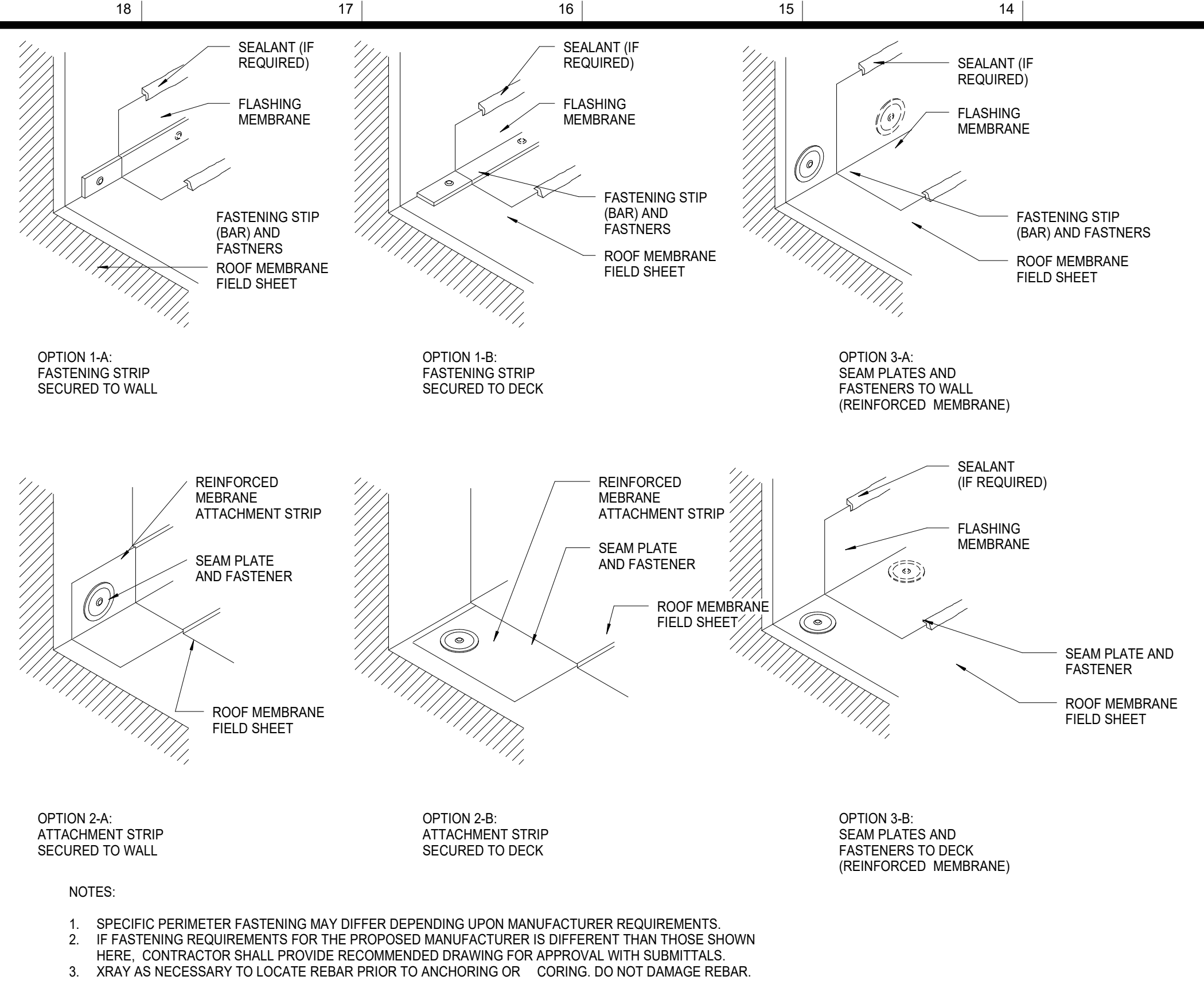
BIDDING DOCUMENTS

**Mt. Pleasant High School**

1750 S. White Road  
San Jose, CA 95127

owner:  
East Side Union High School District  
Facilities & Planning Division  
830 North Capitol Avenue  
San Jose CA 95133  
United States  
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408.347.5115 fax

architect:  
Gould Evans Associates  
95 Brady Street  
San Francisco CA 94103  
United States  
415.503.1411  
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**OPTIONS FOR PERIMETER BASE SECUREMENT**

**1**

**SINGLE PIPE HANGERS**

**2**

**DRAIN BOOT FOR SMALL OUTLETS**

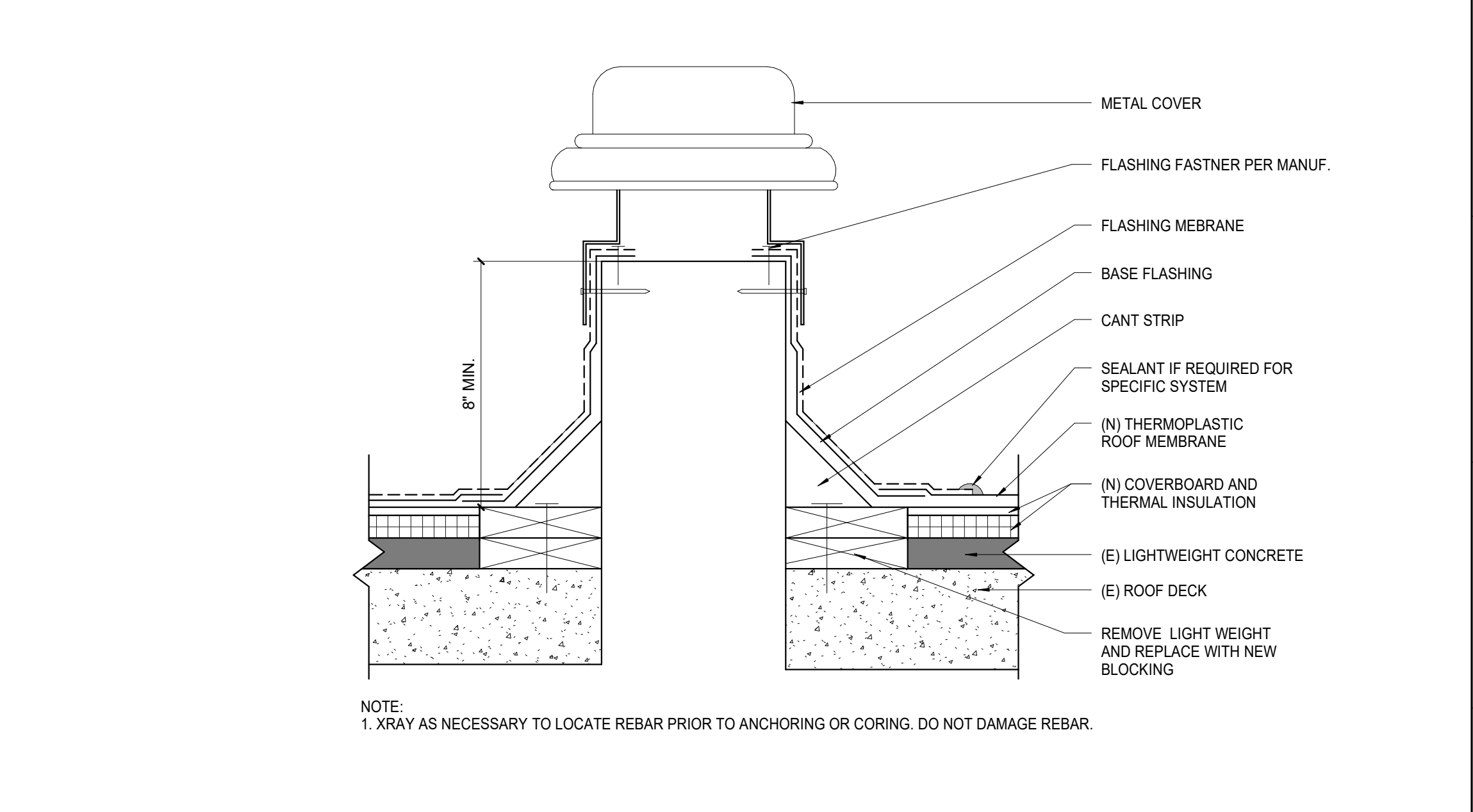
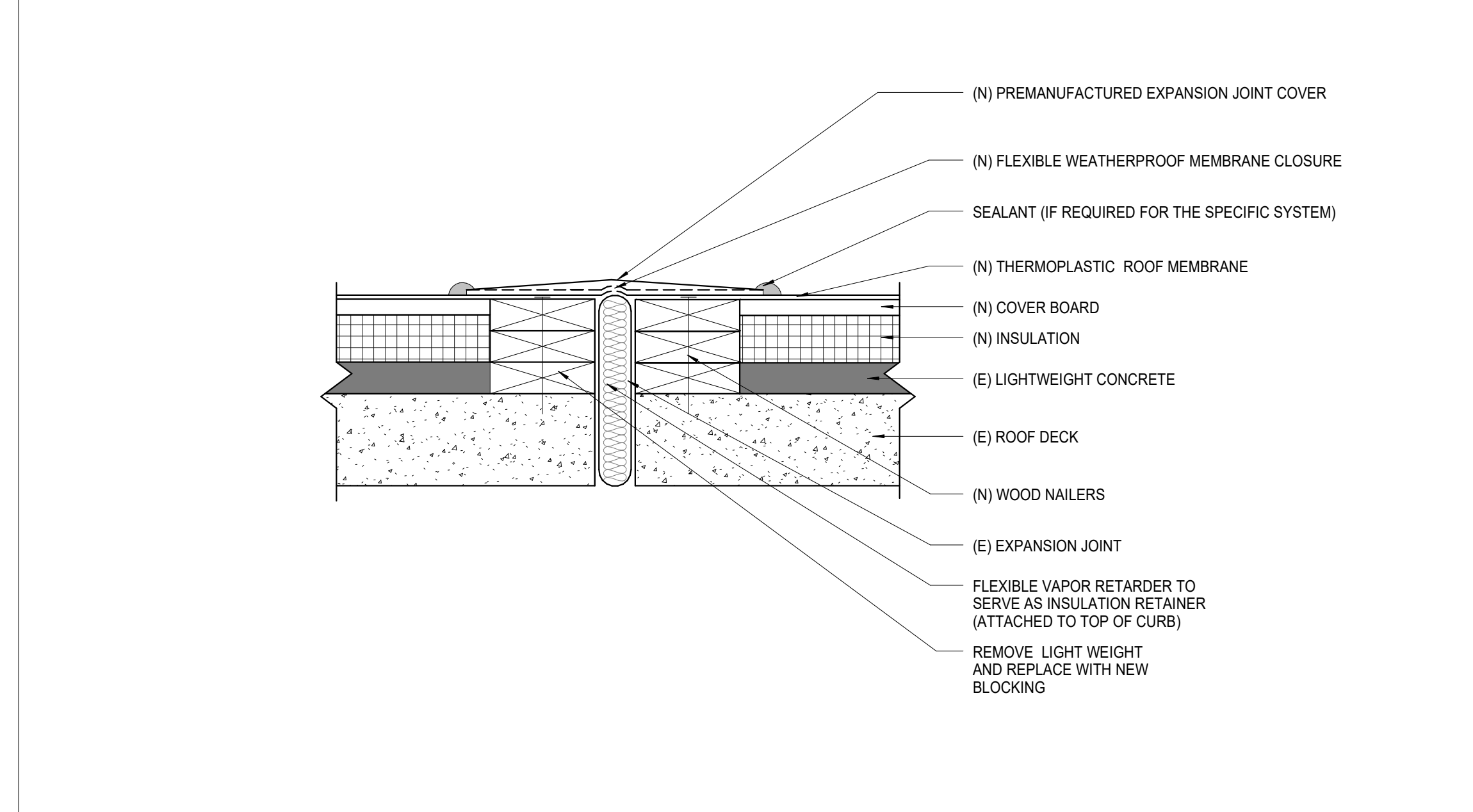
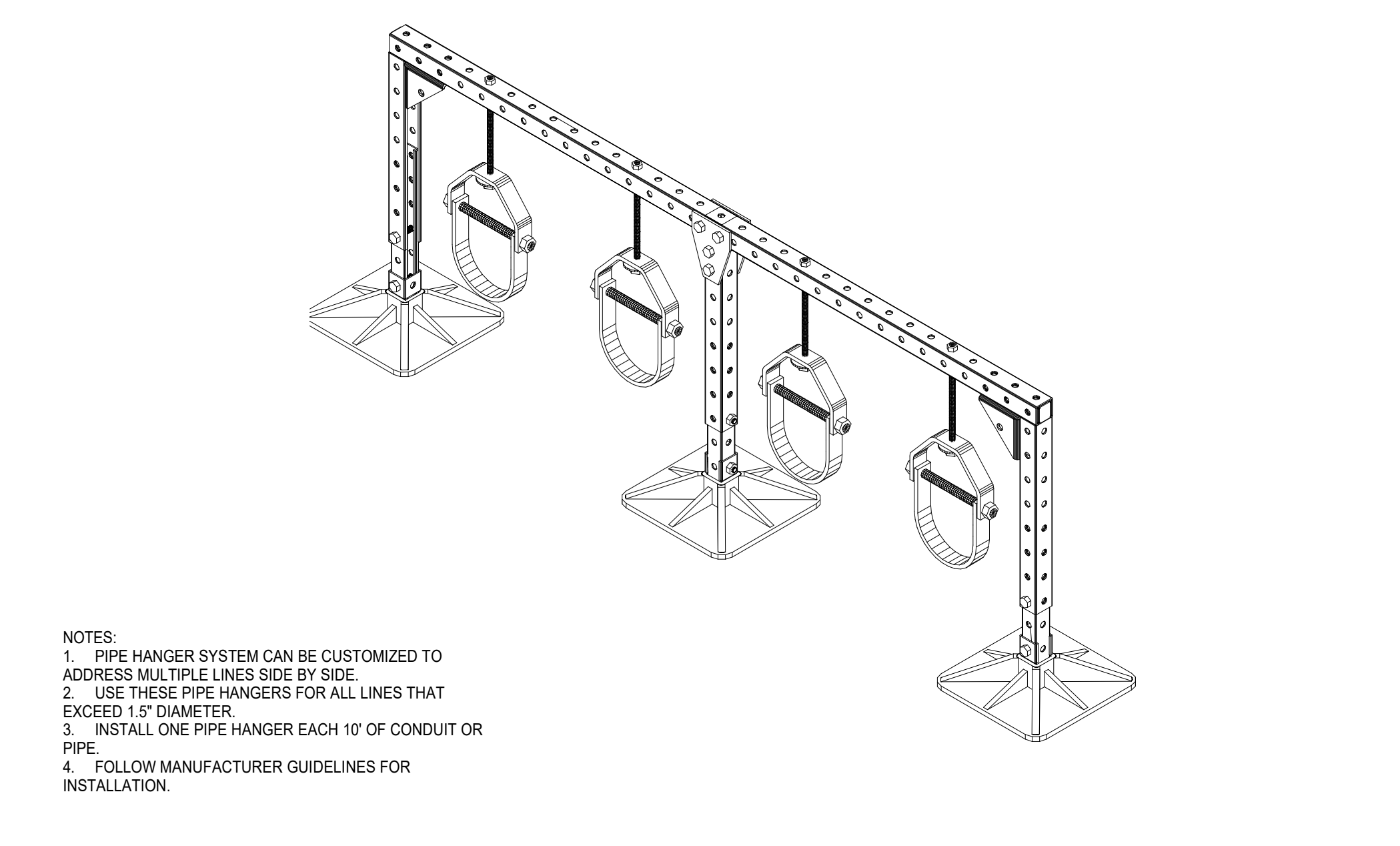
**3**

3" = 1'-0"

3" = 1'-0"

3" = 1'-0"

1 / A161



**MULTIPLE PIPE HANGERS**

**4**

**ROOF - EXPANSION JOINT**

**5**

**EXHAUST FAN DETAIL**

**6**

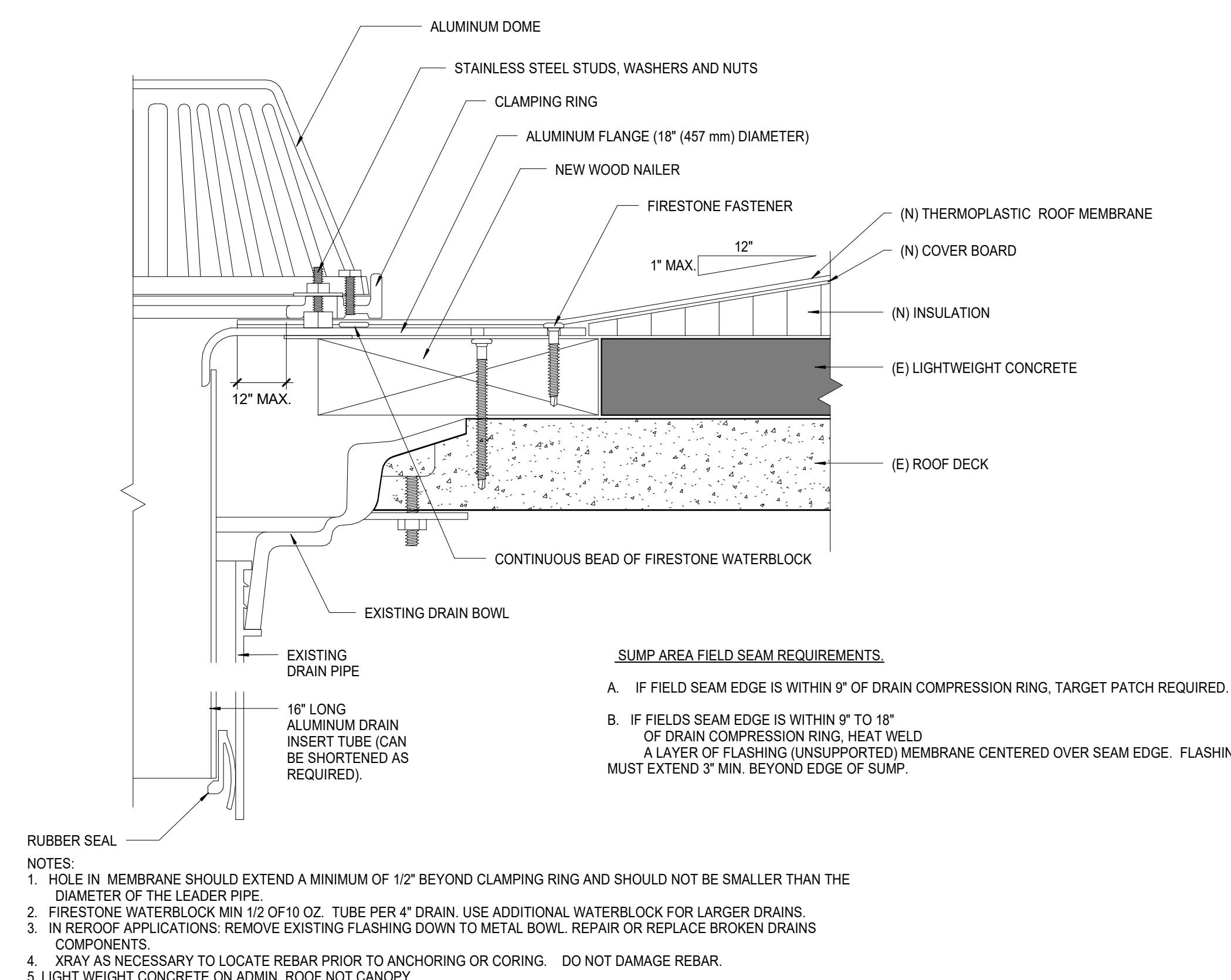
3" = 1'-0"

3" = 1'-0"

1 / A161

3" = 1'-0"

1 / A161



**DRAIN INSERT - ALTERNATE**

**7**

**PERIMETER WALL FLASHINGS**

**8**

**PASSIVE VENT / AIR INTAKE**

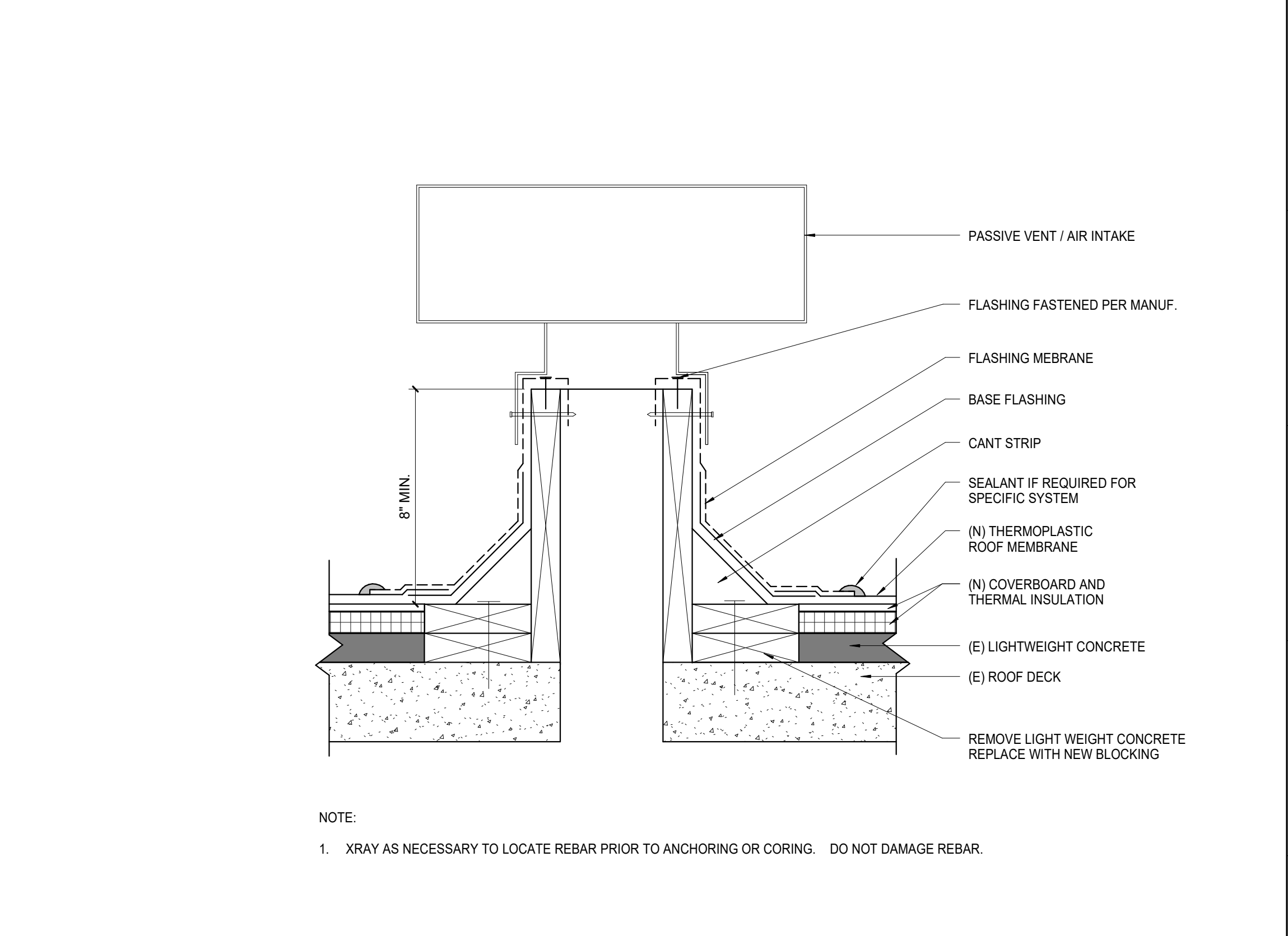
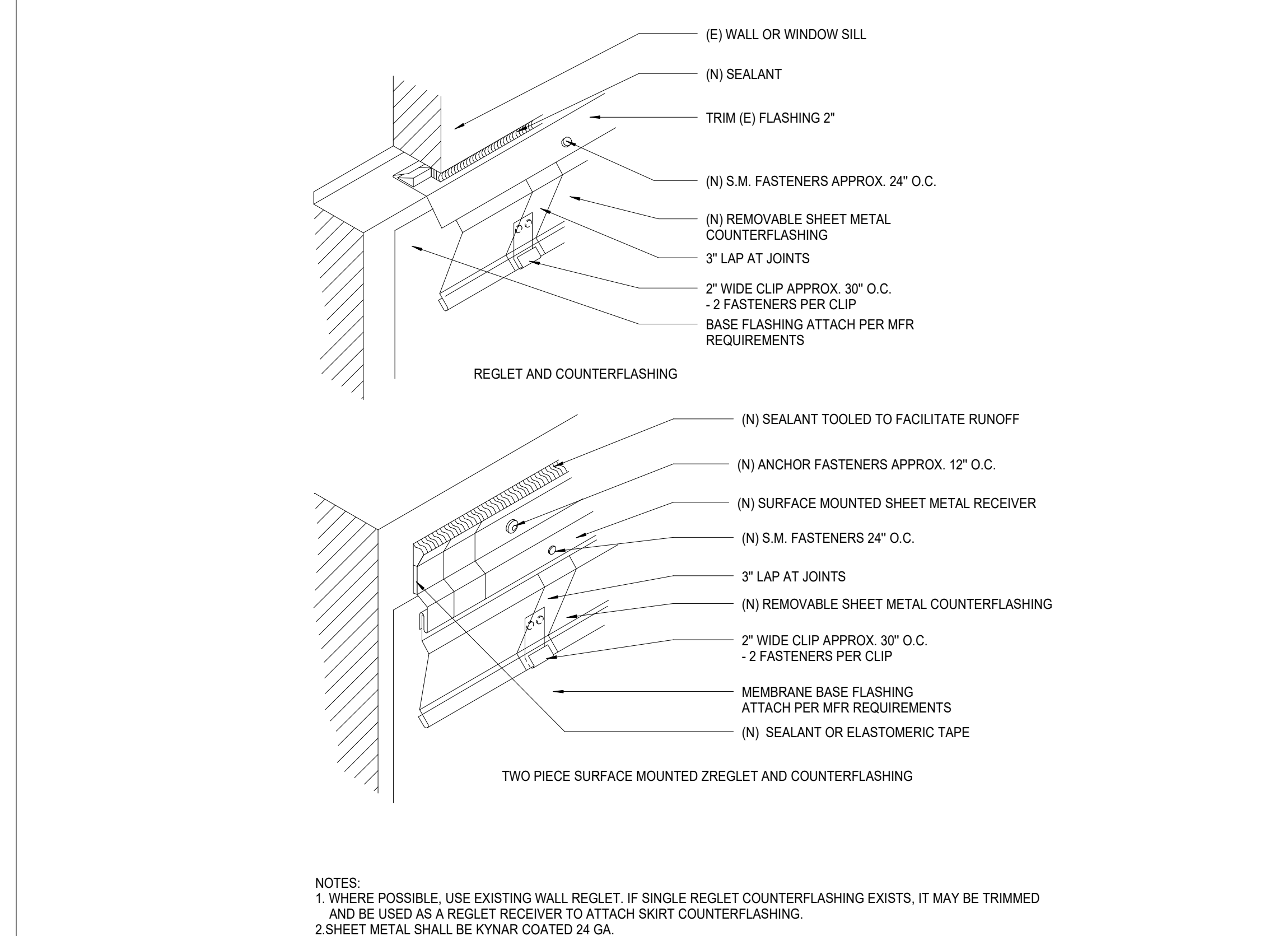
**9**

3" = 1'-0"

3" = 1'-0"

3" = 1'-0"

1 / A161



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Roof Details

**A332**

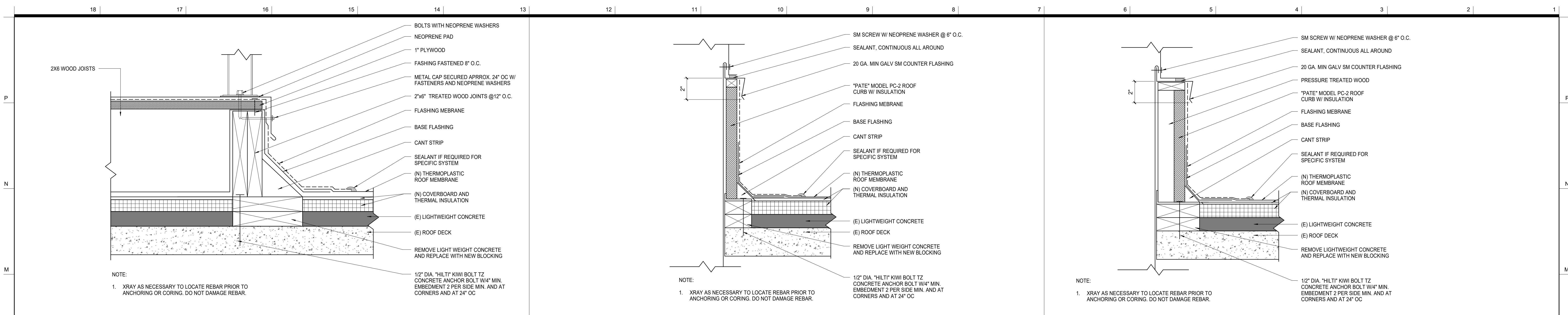
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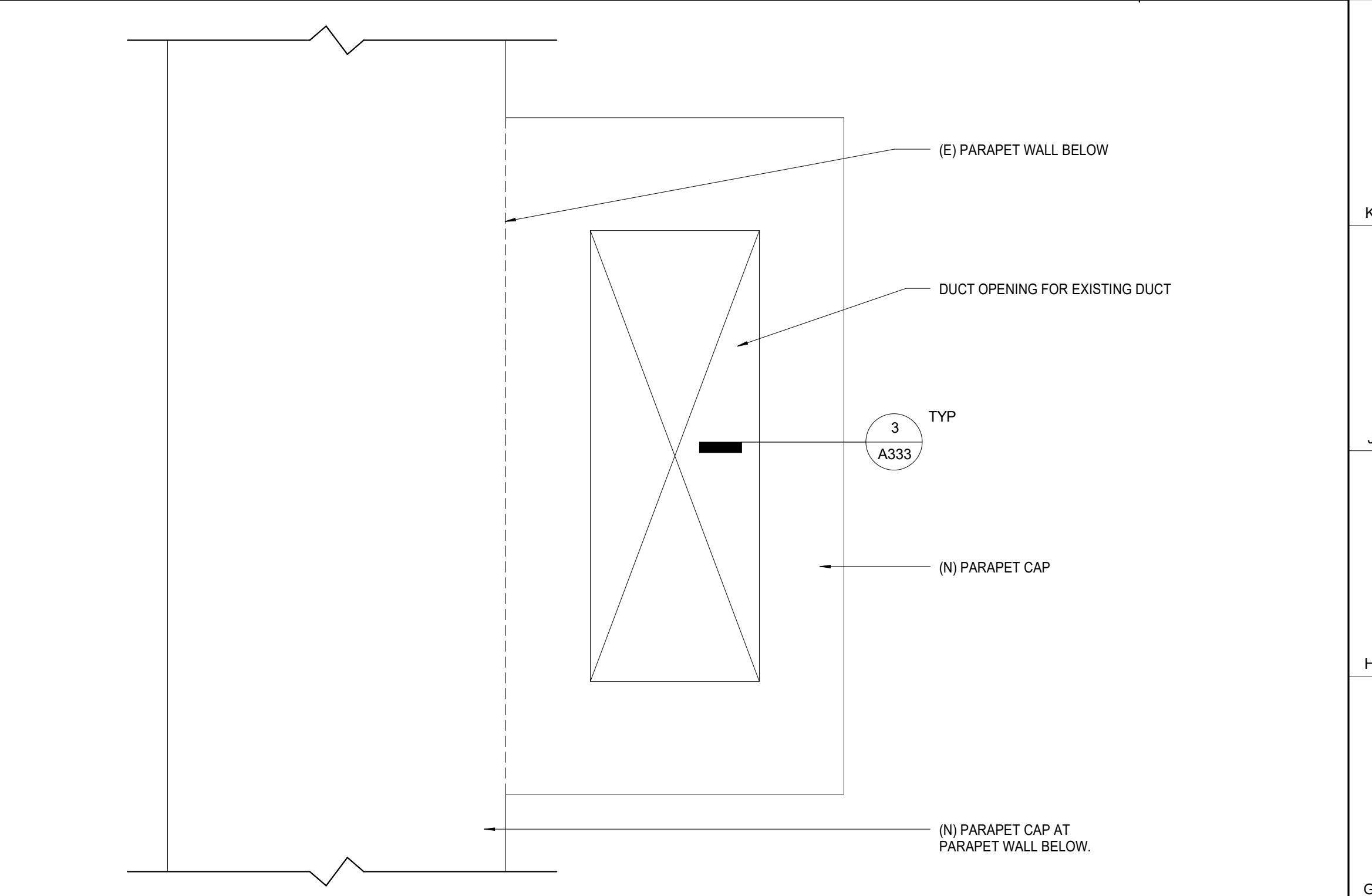
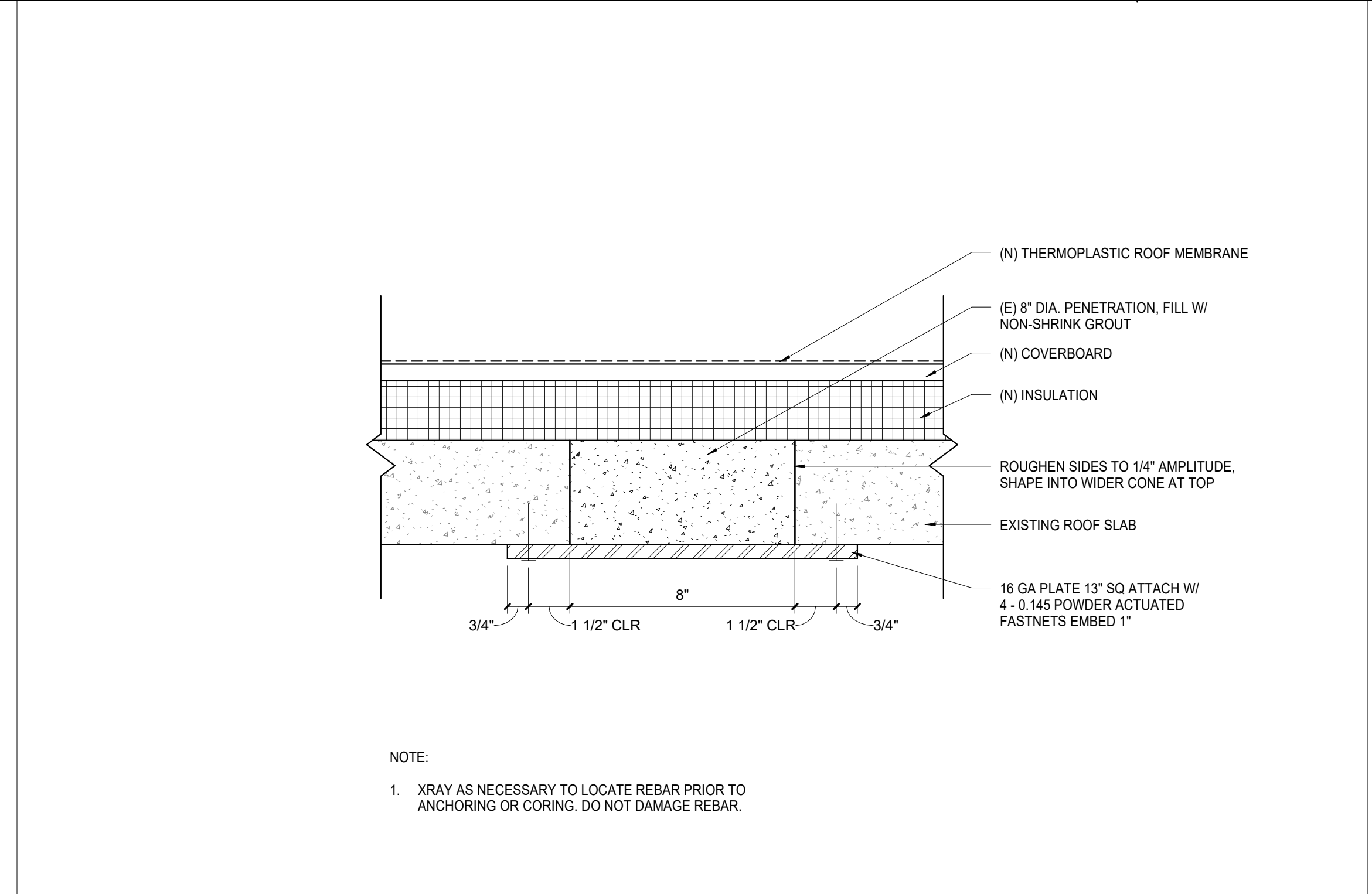
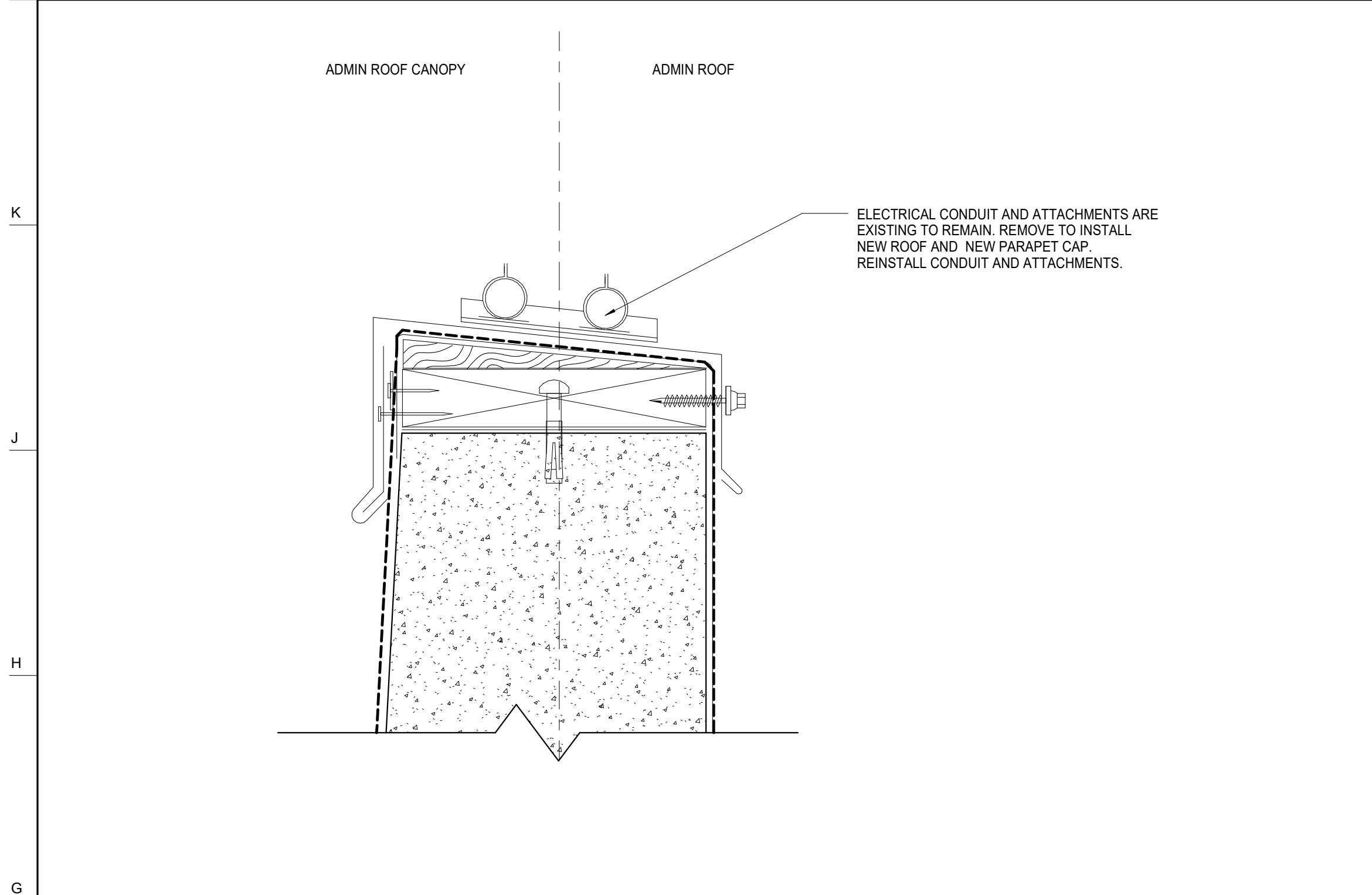
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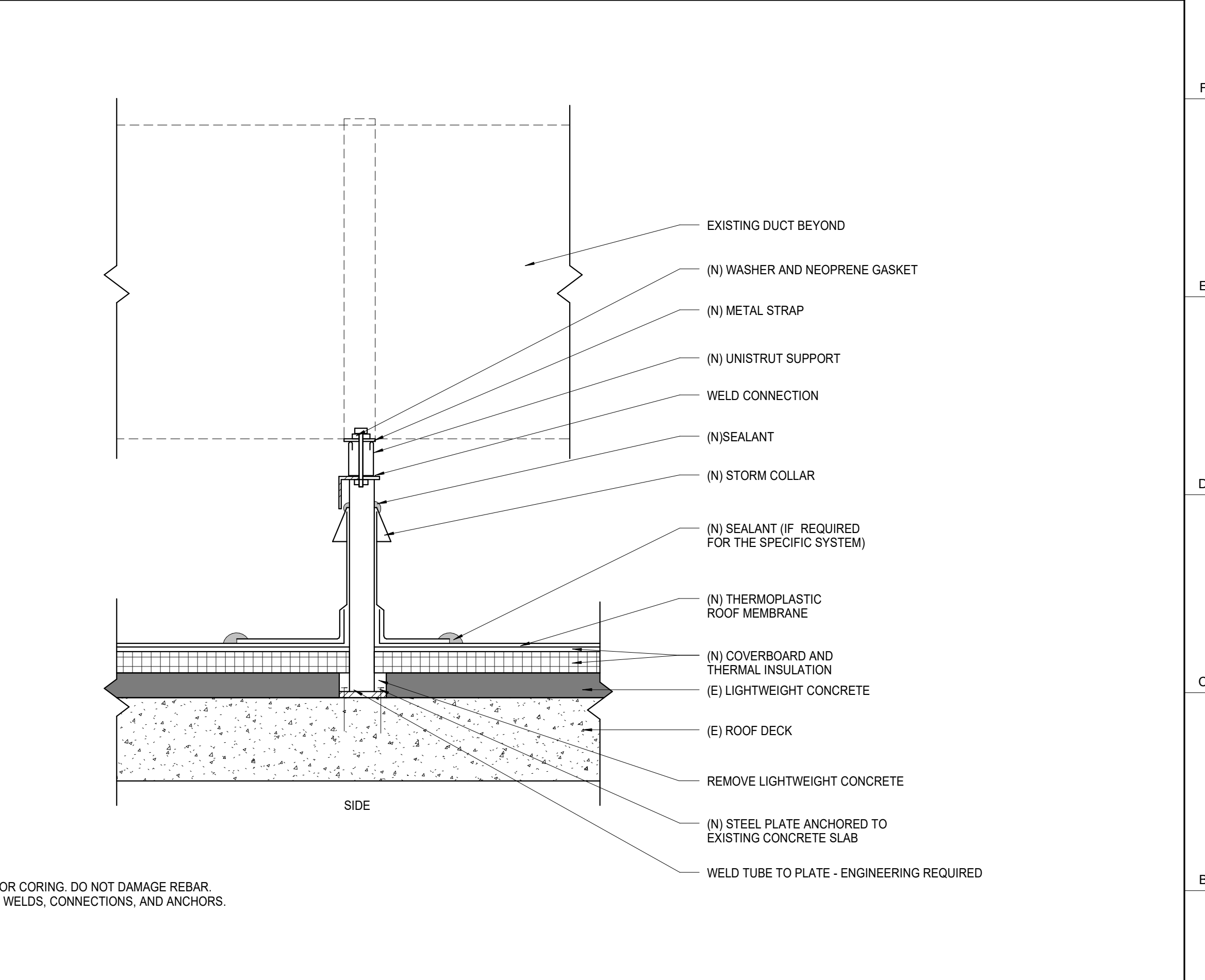
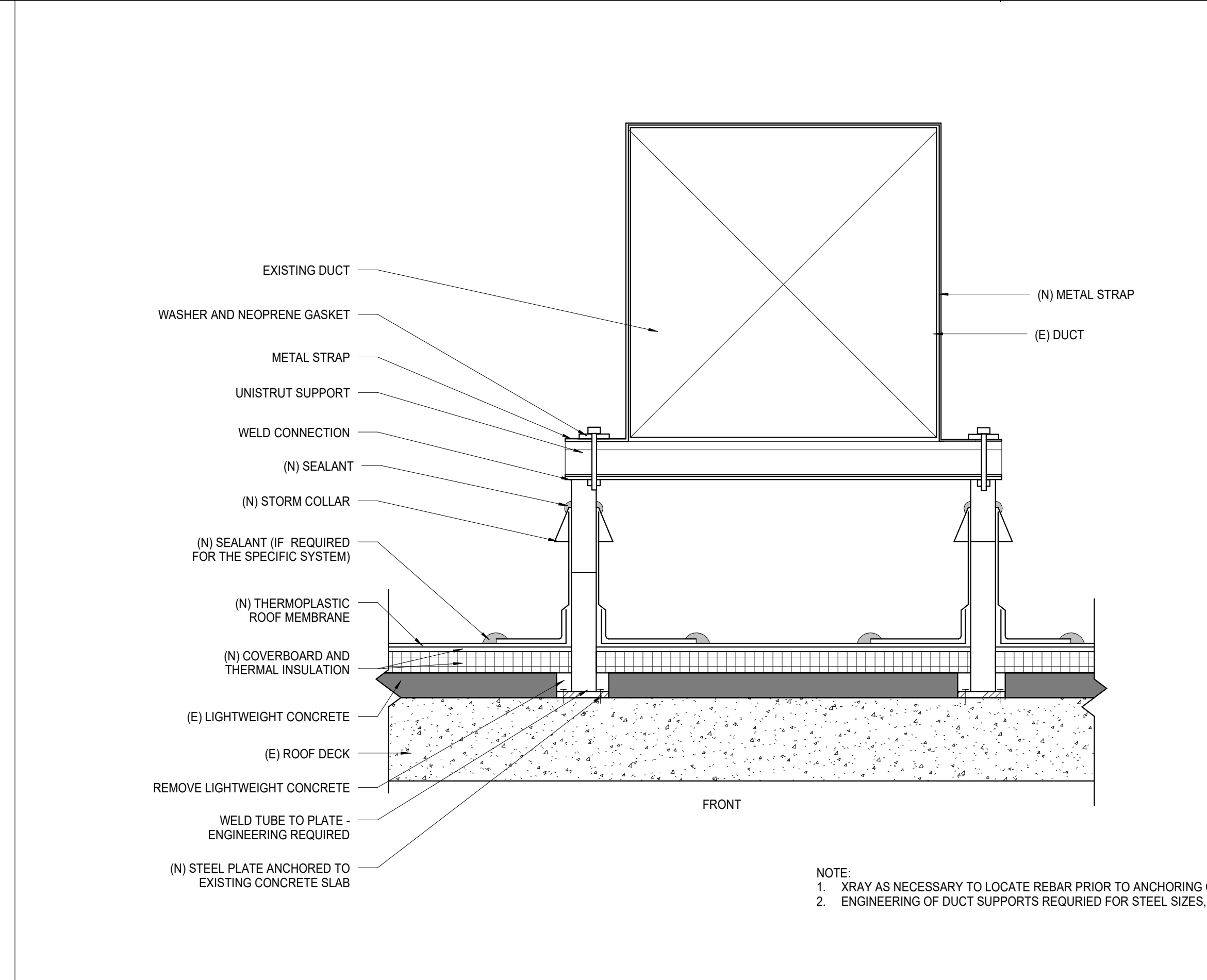
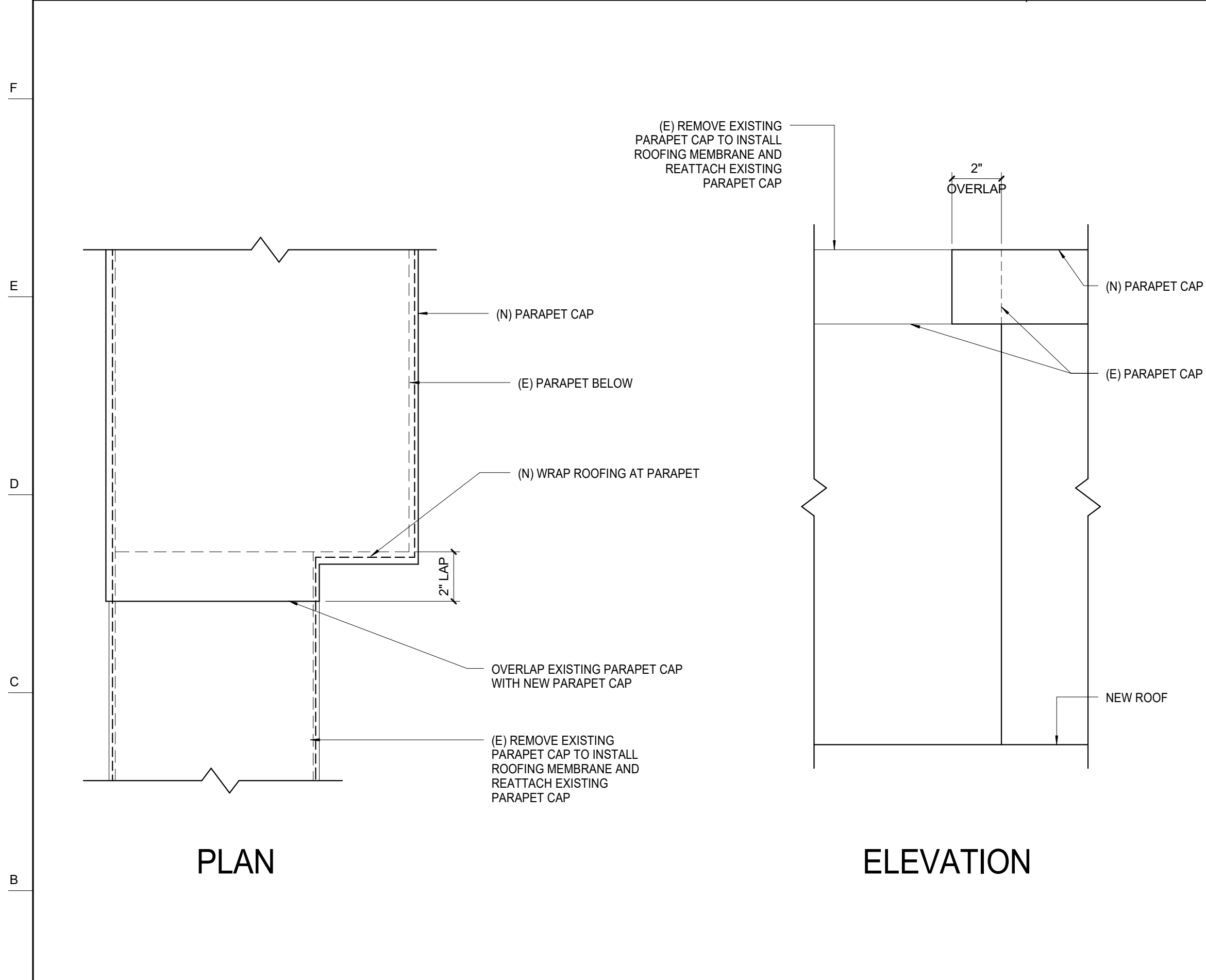
architect:  
Gould Evans Associates  
95 Brady Street  
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United States  
415.503.1411  
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<b>EQUIPMENT PLATFORM</b>	<b>1</b>	<b>DUCT PENETRATION</b>	<b>2</b>	<b>DUCT PENETRATION @ PARAPET TYP.</b>	<b>3</b>
3" = 1'-0"	1 / A161	3" = 1'-0"	1 / A161	3" = 1'-0"	6 / A333



<b>EXISTING ELECTRICAL PIPES AT PARAPET</b>	<b>4</b>	<b>EXISTING DRAIN IN FILL</b>	<b>5</b>	<b>DUCT @ PARAPET TYP.</b>	<b>6</b>
6" = 1'-0"	6 / A330	3" = 1'-0"	1 / A161	3" = 1'-0"	1 / A161



<b>PARAPET CAP OVERLAP</b>	<b>7</b>	<b>DUCT SUPPORTS - FOR REFERENCE ONLY</b>		<b>8</b>
3" = 1'-0"	1 / A161	3" = 1'-0"		1 / A161

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Roof Details

**A333**

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